



A G E N D A

GARDEN GROVE PLANNING COMMISSION

REGULAR MEETING

MAY 21, 2015

COMMUNITY MEETING CENTER
11300 STANFORD AVENUE

REGULAR SESSION - 7:00 P.M. COUNCIL CHAMBER

ROLL CALL: CHAIR O'NEILL, VICE CHAIR KANZLER
COMMISSIONERS MAI, MARGOLIN, PAK, PAREDES, ZAMORA

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Oral Communications at the beginning of the meeting. Each speaker shall fill out a card stating name and address, to be presented to the Recording Secretary, and shall be limited to five (5) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Any person requiring auxiliary aids and services due to a disability should contact the City Clerk's office at (714) 741-5035 to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to all or a majority of the Planning Commissioners within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the City Council Chamber at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Planning Commission may take legislative action it deems appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

- A. ORAL COMMUNICATIONS - PUBLIC
- B. APPROVAL OF MINUTES: May 7, 2015
- C. PUBLIC HEARING(S) (Authorization for the Chair to execute Resolution shall be included in the motion.)
 - C.1. SITE PLAN NO. SP-020-2015

APPLICANT: WARE MALCOMB

LOCATION: WEST SIDE OF VALLEY VIEW STREET, SOUTH OF
CHAPMAN AVENUE AT 12051 VALLEY VIEW STREET

REQUEST: Site Plan approval to reconstruct an existing McDonald's
drive-thru restaurant with a new 3,861 square foot

building. The site is in the Planned Unit Development No. PUD-104-73. This project is exempt pursuant to CEQA Section 15302 – Replacement and Reconstruction and Section 15303 – New Construction or Conversion of Small Structures.

STAFF RECOMMENDATION: Approve Site Plan No. SP-020-2015, subject to the recommended conditions of approval.

C.2. CONDITIONAL USE PERMIT NO. CUP-035-2015
CONDITIONAL USE PERMIT NO. CUP-151-05 REVOCATION

APPLICANT: DAVID S. KIM

LOCATION: SOUTH SIDE OF GARDEN GROVE BOULEVARD, EAST OF BEACH BOULEVARD AT 8100 GARDEN GROVE BOULEVARD

REQUEST: Conditional Use Permit approval to allow the operation of a new trade school, California Premier Culinary School, in conjunction with an existing religious trade school, Gospel Global University, in an existing 6,888 square foot one-story building. Also, a request to revoke Conditional Use Permit No. CUP-151-05, which previously allowed the operation of the adult day care facility in the adjacent building to the west. The site is in the GGMU1 (Garden Grove Mixed Use 1) zone. This project is exempt pursuant to CEQA Section 15301 – Existing Facilities.

STAFF RECOMMENDATION: Approve Conditional Use Permit No. CUP-035-2015, subject to the recommended conditions of approval, in conjunction with the approval of CUP-151-05 Revocation.

D. MATTERS FROM COMMISSIONERS

E. MATTERS FROM STAFF

F. ADJOURNMENT

GARDEN GROVE PLANNING COMMISSION
Community Meeting Center, 11300 Stanford Avenue, Garden Grove, CA 92840

Regular Meeting Minutes
Thursday, May 7, 2015

CALL TO ORDER: 7:00 p.m.

ROLL CALL:

Chair O'Neill
Vice Chair Kanzler
Commissioner Mai
Commissioner Margolin
Commissioner Pak
Commissioner Paredes
Commissioner Zamora

Absent: None.

PLEDGE OF ALLEGIANCE: Led by Commissioner Pak.

ORAL COMMUNICATIONS – PUBLIC: None.

APRIL 2, 2015 MINUTES:

Action: Received and filed.
Motion: Margolin Second: Zamora
Ayes: (7) Kanzler, Mai, Margolin, O'Neill, Pak, Paredes,
Zamora
Noes: (0) None
Absent: (0) None

APRIL 16, 2015 MINUTES:

Action: Received and filed.
Motion: Margolin Second: Pak
Ayes: (7) Kanzler, Mai, Margolin, O'Neill, Pak, Paredes,
Zamora
Noes: (0) None
Absent: (0) None

At 7:05 p.m., Vice Chair Kanzler recused himself from the following discussion due to a conflict of interest.

CONTINUED PUBLIC HEARING – NEGATIVE DECLARATION, AMENDMENT NO. A-013-2015. FOR PROPERTY LOCATED IN THE CC-1 (CIVIC CENTER MIXED USE 1) AND AR (ADAPTIVE REUSE) ZONES.

Applicant: City of Garden Grove
Date: May 7, 2015

Request: A request for Planning Commission recommendation to City Council to amend Chapter 18 (Mixed Use Regulations), Chapter 4 (Definitions), and Chapter 32 (Procedures and Hearings) of Title 9 of the Municipal Code. The proposed amendment includes adding additional uses to the Land Use chart for the CC-1 (Civic Center Mixed Use 1) and the AR (Adaptive Reuse) zones that are not currently permitted in these zones (Section 9.18.020); adding definitions for new uses in Chapter 4 (Section 9.04.060); adding additional standards for the conversion of single-family homes to commercial uses ministerially along with additional standards for parking location, outside eating areas, and non-vehicular and vehicular vending, event space, and additional compatibility standards in the CC-1 zone (Sections 9.18.090.030, 9.18.090.040, 9.18.070.010, 9.18.070.020, and 9.18.110.020); and revising Section 9.32.030D.3(2)(a)(d) of Chapter 32 exempting single-family home conversions to any other use in the CC-1 zone from the requirement to submit a Site Plan application. The City of Garden Grove has determined that a Negative Declaration be adopted pursuant to CEQA.

Action: Public Hearing held. Speaker(s): Ms. Robin Marcario and Ms. Maureen Blackmun. One letter of concern was submitted by Josh McIntosh.

Action: Resolution No. 5843-15 (Option No. 2) was approved with amendments.

Motion: Margolin Second: Paredes

Ayes: (5) Mai, Margolin, O'Neill, Paredes, Zamora

Noes: (1) Pak

Absent: (1) Kanzler

Vice Chair Kanzler rejoined the meeting at 7:50 p.m.

PUBLIC HEARING – SITE PLAN NO. SP-021-2015, TENTATIVE TRACT MAP NO. TT-17818. FOR PROPERTY LOCATED AT 12381 NELSON STREET IN THE R-1 (SINGLE-FAMILY RESIDENTIAL) ZONE.

Applicant: Heritage Homes Management, LLC
Date: May 7, 2015

Request: Site Plan approval to construct four (4), detached, two-story, single-family residential units along with private street improvements. Also, a request for Tentative Tract Map approval to subdivide the subject 39,340 square foot property into five (5) separate lots – four (4) residential lots (with lot sizes of 7,455 square feet, 7,455 square feet, 7,560 square feet, and 9,380 square feet) and one lot for a private street ("Lot A"). The site is in the R-1 (Single-Family Residential) zone. The project is exempt pursuant to CEQA Section No. 15332 – In-Fill Development Projects.

Action: Public Hearing held. Speaker(s): Mr. David Nguyen.

Action: Resolution No. 5846-15 approved.

Motion: Pak Second: Vu

Ayes: (6) Kanzler, Mai, Margolin, O'Neill, Pak, Paredes

Noes: (0) None

Abstain: (1) Zamora

Absent: (0) None

MATTERS FROM COMMISSIONERS: Commissioner Margolin mentioned that Lifetime Furniture closed at the corner of Brookhurst Street and Garden Grove Boulevard and that the alley behind was full of cardboard and mattresses causing an eyesore. Staff responded that Code Enforcement would investigate. Commissioner Margolin also asked when the Promenade restaurant project would start. Staff said that plans had not been submitted yet.

Commissioner Paredes asked for the city code relating to trailers parked on the street. Staff explained that motorhomes and trailers could only be parked for 72 hours on a residential street and to contact the Police Department for tagging a vehicle. Commissioner Paredes also asked if a report was available with statistics on car break-ins as this year they seem to have increased. Staff responded that the matter would be directed to the Police Department. Lastly, Commissioner Paredes distributed an Income Guidelines for Federal Poverty Level chart to staff.

Commissioner Mai asked if medicinal marijuana stores were allowed in Garden Grove as a store was located on the second floor across from Tip Top. Staff responded that the stores were banned.

Commissioner Margolin mentioned an OC Register survey stating that Garden Grove was the third worst place in the country for small businesses to open. In response, Commissioner Pak remarked that other cities were easier to deal with and cited an example regarding an extension of time.

Commissioner Mai asked if there were home programs to help military personnel who have returned from service as there were incentives for Cities who used the Veteran's First Program. Staff responded that low and moderate income housing options may

be considered in the future, and that the City's housing division could look into the matter.

Chair O'Neill expressed that everyone should conserve water and to patronize businesses in Garden Grove especially those on Main Street. He asked to adjourn the meeting in honor of Frank Kellogg, a pediatrician and long-time Garden Grove resident who passed away on April 30th of this year.

MATTERS FROM STAFF: Staff gave a brief description of agenda items for the Thursday, May 21, 2015 Planning Commission meeting. Commissioner Margolin then asked if the damaged parking lot behind the bowling alley would be part of the improvements for the upcoming McDonald's case. Staff replied no, however, Code Enforcement would be sent to look into the matter.

Staff gave an update on the current Stage 2 water conservation plan. The four items to be enforced with a fine were: using potable water to wash sidewalks and driveways, allowing potable water run-off in irrigating, using hoses without shut-off nozzles to wash cars, and using potable water in decorative water features that do not circulate the water. Staff added that at this stage, any cutback on personal water usage was voluntary.

Vice Chair Kanzler asked for the plan if Garden Grove did not meet the water conservation base line put out by the State Water Resource Control Board. Staff replied that Stage 3 would be implemented.

Commissioner Zamora asked if the City had the authority to tell industry to cut back on water. In response, Vice Chair Kanzler stated as an example that the farming industry was not asked to cut back as the water was allocated by the federal government from other parts of the state. At this time, they are getting less water and the overall process of acquiring water was handled differently.

Chair O'Neill encouraged people to go on the Orange County Water District website for more information.

ADJOURNMENT: At 8:32 p.m. to the next Regular Meeting of the Garden Grove Planning Commission on Thursday, May 21, 2015, at 7:00 p.m. in the Garden Grove Council Chamber, 11300 Stanford Avenue, Garden Grove.

Motion:	Margolin	Second:	Mai
Ayes:	(7)	Kanzler, Mai, Margolin, O'Neill, Pak, Paredes, Zamora	
Noes:	(0)	None	
Absent:	(0)	None	

Judith Moore, Recording Secretary

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1.	SITE LOCATION: West side of Valley View Street, south of Chapman Avenue at 12051 Valley View Street
HEARING DATE: May 21, 2015	GENERAL PLAN: Residential/Commercial Mixed Use 2
CASE NO.: Site Plan No. SP-020-2015	ZONE: Planned Unit Development No. PUD-104-73
APPLICANT: Ware Malcomb for McDonald's USA, LLC	APN NO.: 224-202-14
PROPERTY OWNER: McDonald's USA, LLC	CEQA DETERMINATION: Exempt

REQUEST:

The applicant is requesting Site Plan approval to reconstruct an existing McDonald's drive-thru restaurant with a new 3,861 square foot building.

PROJECT STATISTICS:

	Provided¹
Existing Lot Size (no change)	32,194 S.F.
Building Height	20'-3"
Building Setbacks	
North (side)	70'-6"
South (side)	21'-10"
East (front)	31'-9"
West (rear)	116'-8"
Landscaping²	
Total Site	4,781 S.F.
Within Parking Area	3,626 S.F.
Parking³	37 spaces
	4 drive-thru
Total Parking	41 spaces

- ¹ The project complies with the development standards of the underlying zone.
- ² The Municipal Code requires that 10% of the parking area be landscaped, excluding the required setbacks.
- ³ Half the vehicle queuing length of the drive-thru is counted toward the required parking.

BACKGROUND:

The property is located on the west side of Valley View Street, south of Chapman Avenue. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned Planned Unit Development No. PUD-104-73. The Planned Unit Development was adopted in 1973, and incorporates the subject property, and the three (3) adjacent properties to the south, 12101, 12111, and 12141 Valley View Street. PUD-104-73 was approved to allow the development of a bowling alley (AMF Valley View Lanes at 12141 Valley View Street), a movie theater (4 Star Cinemas at 12111 Valley View Street), and two (2) restaurant buildings (a vacant restaurant at 12101 Valley View Street that was previously a Chinese Restaurant, and McDonald's at 12051 Valley View Street).

The subject site is located in a commercial area that directly abuts a tire sales and service garage to the north, and the property improved with the vacant restaurant to the south and west. The subject property has reciprocal access with the adjacent vacant restaurant parcel that allows for shared vehicular access between the two sites. The shared access is provided through a 31'-0" wide drive aisle opening located along the rear property line of the McDonald's property that will continue to remain in conjunction with the proposed development.

The property is 32,194 square feet in size, and is currently improved with a 3,153 square foot McDonald's drive-thru restaurant that was constructed in 1974. The applicant proposes to demolish the existing McDonald's building in order to construct a new, 3,861 square foot restaurant designed with the new corporate image of McDonald's.

DISCUSSION:

The applicant proposes to demolish the existing McDonald's restaurant building and the outdoor "Playland" area, and construct a new, one-story, 3,861 square foot, McDonald's drive-thru restaurant.

Site Design, Circulation, and Parking:

The proposed project design includes reconfiguring the parking area, the drive-thru lanes, re-positioning the restaurant building, and providing new on-site landscaping. The new restaurant building will be positioned closer to Valley View Street to accommodate the double drive-thru lanes at the rear of the property. The existing "Playland" area will be eliminated in order to accommodate the new building placement, as well as to accommodate a new one-way drive aisle along the front of the building that will improve the site's circulation.

Access to the site will be provided from two (2) existing drive approaches located on Valley View Street that will be modified to accommodate the proposed site design and the

circulation pattern. The drive approach located at the northerly most portion of the Valley View Street property line will serve as the primary two-way drive aisle to access the site. This two-way drive aisle will circulate from Valley View Street toward the rear of the property, and will provide access to the parking spaces and the drive-thru lanes. Two rows of perpendicular parking spaces will be located along the north side of the property, and three (3) parallel parking spaces will be located at the rear.

The site will continue to maintain shared vehicular access with the property at 12101 Valley View Street through a 31'-0" wide vehicular access point located at the rear of the property line that integrates the circulation pattern of the two properties.

The McDonald's will provide the double queuing lane for ordering that will funnel into a single queuing lane for pick-up. This is a standard drive-thru lane design for McDonald's. The drive-thru lane will originate at the rear of the building, and will circulate along the south side of the building.

A separate one-way drive aisle will be provided adjacent to the drive-thru lane that will be used to access the parallel parking spaces located along the rear of the property. This drive aisle, along with the drive-thru lanes, will circulate along the rear and south side of the property toward Valley View Street, and will provide customers with the option to exit the site through a one-way drive approach onto Valley View Street, or allow customers to connect to the north side of the property through a new one-way drive aisle located at the front of the building. The customers exiting the drive-thru lane will also have the option to exit the site from the one-way approach into Valley View Street, or to circulate through the site using the drive aisle located in front of the building.

The project has been designed to comply with the parking requirement for a restaurant use. All the required parking will be provided on the McDonald's site. A total of 39 parking spaces are required for the proposal, and the project will provide a total of 41 parking spaces. When drive-thru facilities are proposed, the City allows for half the vehicle queuing of the drive-thru to be counted toward the required parking. The project will provide 37 parking stalls, and four (4) vehicle queuing spaces within the drive-thru lane for a total of 41 parking spaces.

Building Design:

The proposed restaurant building will incorporate an architectural design that reflects the new corporate image for McDonald's restaurants. The exterior finish will consist primarily of a dark grayish-brown stucco finish with a cream color stone veneer used to accent the building's front (east) and side (north) elevations. A brownish color stone veneer will be used to frame and articulate each of the (3) drive-thru service windows located along the south side of the building. A corrugated metal fascia will be install along the roof line that will be used to accent the building, and also to screen any roof top mechanical equipment.

A yellow color aluminum canopy will be installed over the storefront and main entrance of the restaurant located along the front (east) and side (north) building elevations as a decorative accent to enhance the building. Also, metal trellises constructed of clear anodized aluminum will be installed along the south building elevation along the drive-thru lane, as well as on a portion of the storefront window located on the north building elevation. The building design also continues with the tradition of incorporating the "golden arches" that McDonald's is recognized for into the building design by installing two (2) yellow, single arched, roof cap element on the east and north building elevations to further enhance the building design.

Signage for the building will comply with the sign requirements of the Municipal Code, and includes the standard McDonald's signage. The existing pole sign will continue to remain as the Planned Unit Development allows each property within PUD-104-73 to have one-pole sign.

Landscaping:

The project will provide landscaping along the Valley View Street frontage, the perimeter setbacks, and within the interior of the lot. The applicant is required to provide a complete landscape and irrigation plan to the City that complies with the landscaping requirements of Title 9 of the Municipal Code. Planning staff will review the type and location of all proposed plant materials. As part of the landscape plan, a variety of trees, shrubs, and flowers are required for all common and private areas.

RECOMMENDATION:

Staff recommends that the Planning Commission take the following action:

1. Adopt the attached Resolution approving Site Plan No. SP-020-2015, subject to the recommended conditions of approval.



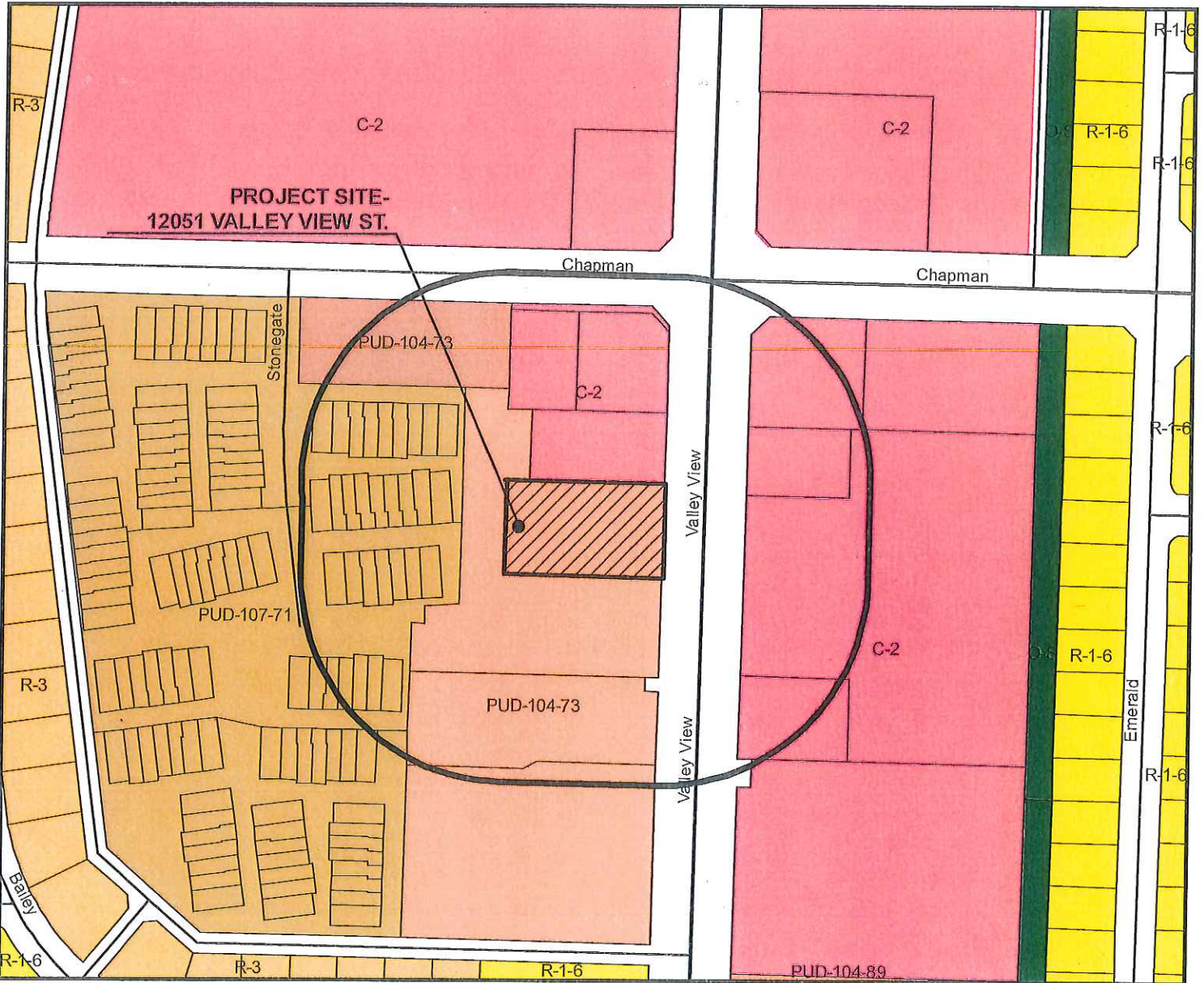
Karl Hill
Planning Service Manager



By: Maria Parra
Urban Planner



SITE PLAN NO. SP-020-2015



LEGEND

 PROJECT SITE - 12051 VALLEY VIEW STREET

 300 FEET RADIUS



NOTES

1. GENERAL PLAN:
RESIDENTIAL/COMMERCIAL MIXED USE 2
2. ZONE:
PUD-104-73 (PLANNED UNIT DEVELOPMENT)

CITY OF GARDEN GROVE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
GIS SYSTEM
APRIL 2015

ARCHITECT

WARE MALCOMB

10 REDBANK
BAYVIEW, CA 94026

PHONE: (415) 660-0178
FAX: (415) 663-1581

OWNER REPRESENTATIVE

McDonald's USA, LLC

SOUTHERN CALIFORNIA REGION

CARLOS MARDAL
AREA CONSTRUCTION MANAGER
12091 VALLEY VIEW STREET, SUITE 200
LONG BEACH, CA 90801
PHONE: (562) 752-2009
FAX: (562) 752-2009

SITE and BUILDING INFORMATION

LOT AREA: 8,321.0465 S.F. (VERIFY WITH ALTA SURVEY)
TOTAL LANDSCAPE AREA: 4,791 S.F. = 0.10 ACRE WITH 1485 (INCLUDING SETBACK) PLANTING PLANTING (SEE SCHEDULED LANDSCAPE)
TOTAL LANDSCAPE AREA: 3,629 S.F. = 0.08 ACRE WITH 1120S (INCLUDING SETBACKS)
PARKING AREA: 4,571 S.F. (A 20% PARKING AREA)
EXISTING BUILDING/PARKING INFORMATION:
OCCUPANCY TYPE: A-2 (RESTAURANT)
EXISTING BUILDING FLOOR AREA: 3,163 S.F.
EXISTING NO. OF PARKING STALLS: 37 STALLS
BUILDING INFORMATION:
BUILDING CODE: 2014
BUILDING CODE-EFFECT: 2014-17
CONSTRUCTION TYPE: 2014-17
BUILDING HEIGHT EFFECT: 15'-0" TOP OF ROOF CAR ELEVATION
BUILDING HEIGHT MAXIMUM: 15'-0" TOP OF PARAPET
3.861 S.F.
PROPOSED BUILDING FLOOR AREA: 3,861 S.F.
PROPOSED NO. OF PARKING STALLS: 36
PARKING THROUGH DRIVEWAY: 36% PARKING STALLS
PARKING STALLS REQUIRED: 39 STALLS
TOTAL PARKING PROVIDED: 37 STALLS
DRIVE THRU DISTANCE: 9' STALLS
TOTAL PARKING PROVIDED: 41 STALLS

SHEET INDEX

SP-11 EXISTING SITE PLAN AND BUILDING INFORMATION
SP-12 CONCEPTUAL SITE PLAN
SP-13 FLOOR PLAN
A1-D EXISTING AND PROPOSED DRIVEWAYS
A2-10 EXISTING ELEVATION
A2-20a PROPOSED ELEVATION
A2-20b COLOR EXTERIOR ELEVATION
A2-20c COLOR EXTERIOR ELEVATION

VICINITY MAP



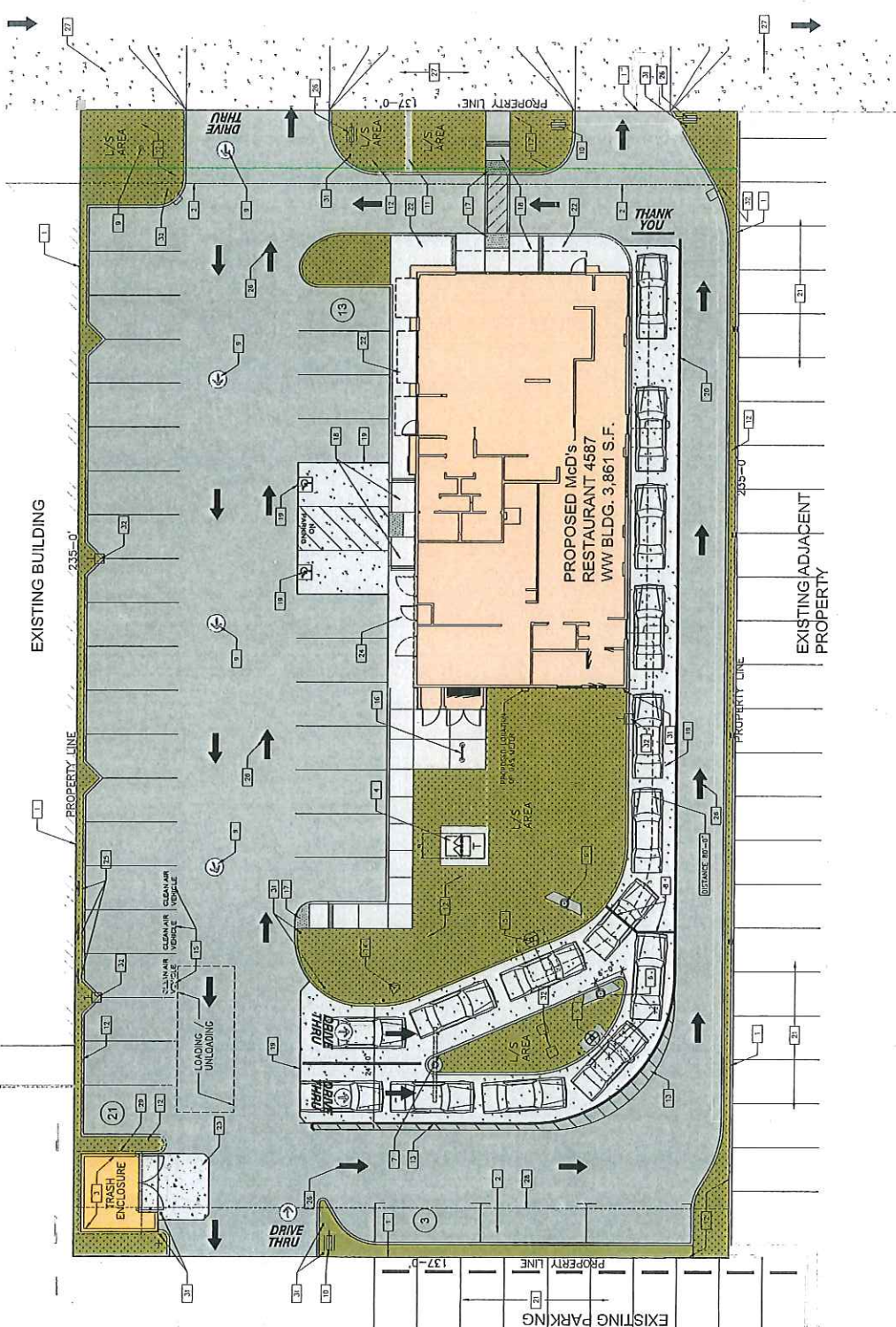
LEGAL DESCRIPTION

ASSESSORS PARCEL NUMBER:
MCDONALD'S PROPERTY - PARCEL 1: # 224-202-14
EASEMENT - PARCEL 2: # 224-202-15 FOR VEHICULAR & PEDESTRIAN
EASEMENT - PARCEL 3: # 224-202-15 FOR VEHICULAR & PEDESTRIAN



WARE MALCOMB
IRVING-0125-00
01.2.13
SHEET
SP-1

VALLEY VIEW STREET



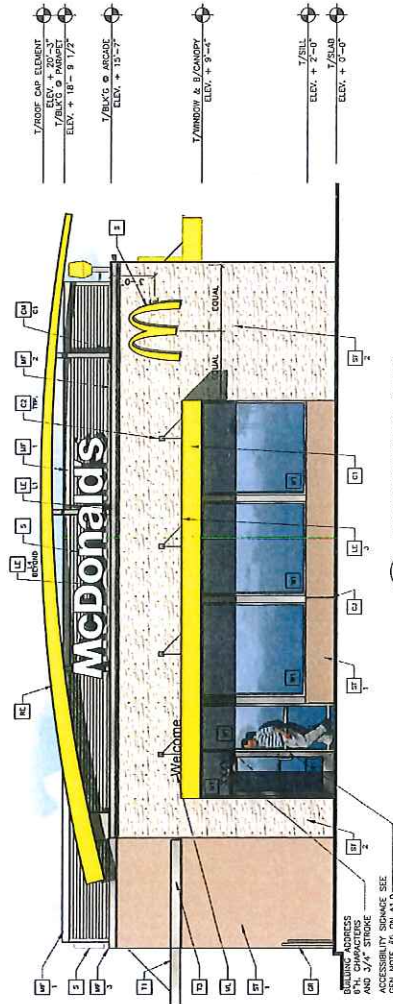
SITE PLAN NOTES

- 1. PROPERTY LINE (---)
- 2. BUILDING/FACILITY SETBACK LINE (---)
- 3. PROPOSED TRASH ENCLOSURE PER CITY STANDARD REQUIREMENTS
- 4. PROPOSED ELECTRICAL TRANSFORMER LOCATION
- 5. PROPOSED CUSTOMER ORDER DISPLAY PER MCDONALD'S STANDARDS
- 6. PROPOSED MENU BOARD PER MCDONALD'S STANDARDS
- 7. DOUBLE GATEWAY SIGN PER MCDONALD'S STANDARDS
- 8. PAINTED ARCADE FRONT LINE
- 9. MCDONALD'S DRIVE THRU AND DIRECTIONAL SIGN REFER TO SIGN PACKAGE
- 10. TYPICAL DIRECTIONAL SIGN, ONE WAY SIGN BY SIGN COMPANY.
- 11. EXISTING Pylon/Board Sign to Remain Refer to Sign Package
- 12. LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS FOR PLANTING
- 13. PAINTED STRIPE ON THE GROUND
- 14. PRE-SELL BOARD, PER MCDONALD'S STANDARDS
- 15. 12" HIGH, WHITE "CLEAN AIR WASHLET" PAINTED MARKINGS
- 16. BIKE RACK, PER CITY STANDARD REQUIREMENTS, REFER TO MINE, SPECIFICATIONS
- 17. TRUCKED CONC. PER CITY STANDARD REQUIREMENTS
- 18. JOIN CLUB RAMP, REFER TO CIVIL DRAWINGS
- 19. LIMIT OF "BLACK" CONCRETE
- 20. PAINTED YELLOW SOLID LINE
- 21. ADJACENT EXISTING PARKING STALL
- 22. DECORATIVE TIE PAVEMENT, REFER TO DETAIL
- 23. TRASH ENCLOSURE CONCRETE APRON
- 24. BUILDING CONCRETE SIDEWALK MATERIAL TOoled JOINT AND EXPANSION JOINT PATTERNS AS SHOWN FROM LIGHT BROWN, TYPICAL STANDARD REQUIREMENTS
- 25. MCDONALD'S PARKING LOT DIRECTIONAL SIGN ARROW (USER SPECIFICS) AS REQUIRED PER CITY STANDARDS, REFER TO CIVIL
- 26. MCDONALD'S PROPERTY FRONTAGE, EXISTING CONCRETE SIDEWALK (USER SPECIFICS) AS REQUIRED PER CITY STANDARDS, REFER TO CIVIL
- 27. LINE OF UTILITY EXPOSURE
- 28. LINE OF TRASH ENCLOSURE ROOF COVER
- 29. FLAG POLE
- 30. FIELLED CONCRETE W/IF BOLLARDS, REFER CIVIL DRAWINGS
- 31. SITE LIGHTING POLE, REFER TO ELECTRICAL SITE PLAN ES-1 SHEET DRAWINGS

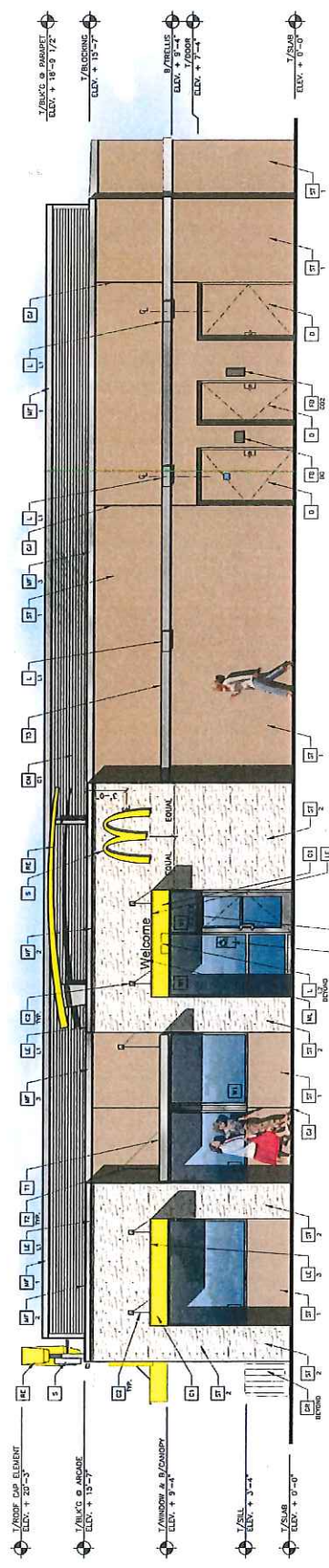
CONCEPTUAL SITE PLAN

McDonald's Restaurant #004-0379
12091 VALLEY VIEW STREET, GARDEN GROVE, CA

McDonald's USA, LLC



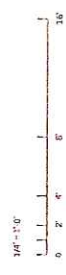
1 FRONT ELEVATION (EAST)
 A2.0 1/4" = 1'-0"

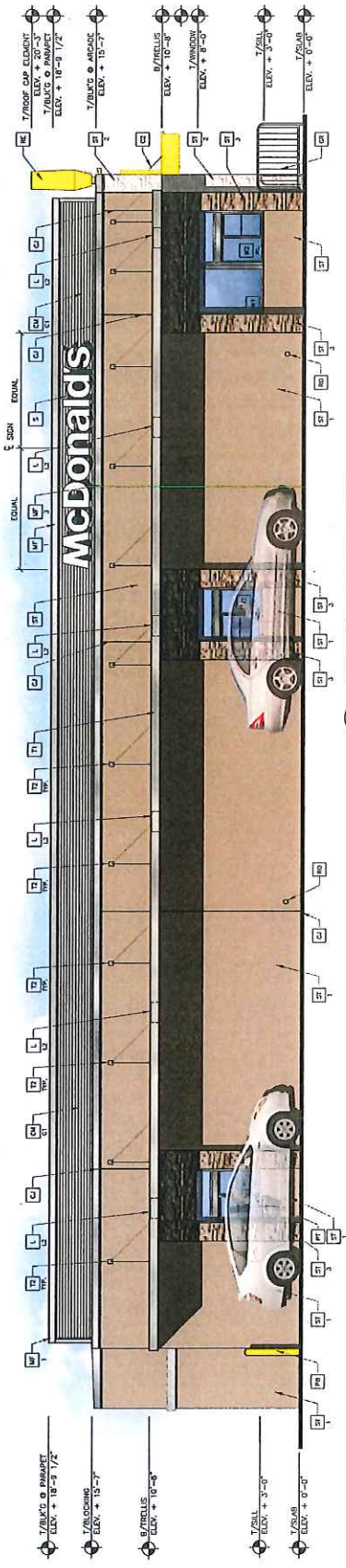


2 NON-DRIVE-THRU ELEVATION (NORTH)
 A2.0 1/4" = 1'-0"

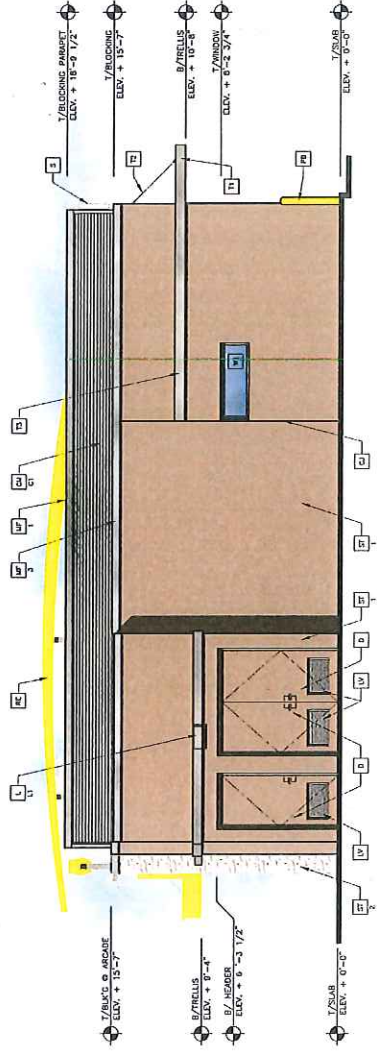
- KEY NOTES:**
- 1 = BRICK METAL
 - 2 = BRICK METAL - CHIPS/SCOPE BY METAL-CON
 - 3 = ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
 - 4 = ALUMINUM CANOPY REC-JACK SYSTEM
 - 5 = CONTROL JOINT
 - 6 = CONTROL JOINT
 - 7 = CONTROL JOINT
 - 8 = CONTROL JOINT
 - 9 = CONTROL JOINT
 - 10 = CONTROL JOINT
 - 11 = CONTROL JOINT
 - 12 = CONTROL JOINT
 - 13 = CONTROL JOINT
 - 14 = CONTROL JOINT
 - 15 = CONTROL JOINT
 - 16 = CONTROL JOINT
 - 17 = CONTROL JOINT
 - 18 = CONTROL JOINT
 - 19 = CONTROL JOINT
 - 20 = CONTROL JOINT
 - 21 = CONTROL JOINT
 - 22 = CONTROL JOINT
 - 23 = CONTROL JOINT
 - 24 = CONTROL JOINT
 - 25 = CONTROL JOINT
 - 26 = CONTROL JOINT
 - 27 = CONTROL JOINT
 - 28 = CONTROL JOINT
 - 29 = CONTROL JOINT
 - 30 = CONTROL JOINT
 - 31 = CONTROL JOINT
 - 32 = CONTROL JOINT
 - 33 = CONTROL JOINT
 - 34 = CONTROL JOINT
 - 35 = CONTROL JOINT
 - 36 = CONTROL JOINT
 - 37 = CONTROL JOINT
 - 38 = CONTROL JOINT
 - 39 = CONTROL JOINT
 - 40 = CONTROL JOINT
 - 41 = CONTROL JOINT
 - 42 = CONTROL JOINT
 - 43 = CONTROL JOINT
 - 44 = CONTROL JOINT
 - 45 = CONTROL JOINT
 - 46 = CONTROL JOINT
 - 47 = CONTROL JOINT
 - 48 = CONTROL JOINT
 - 49 = CONTROL JOINT
 - 50 = CONTROL JOINT
 - 51 = CONTROL JOINT
 - 52 = CONTROL JOINT
 - 53 = CONTROL JOINT
 - 54 = CONTROL JOINT
 - 55 = CONTROL JOINT
 - 56 = CONTROL JOINT
 - 57 = CONTROL JOINT
 - 58 = CONTROL JOINT
 - 59 = CONTROL JOINT
 - 60 = CONTROL JOINT
 - 61 = CONTROL JOINT
 - 62 = CONTROL JOINT
 - 63 = CONTROL JOINT
 - 64 = CONTROL JOINT
 - 65 = CONTROL JOINT
 - 66 = CONTROL JOINT
 - 67 = CONTROL JOINT
 - 68 = CONTROL JOINT
 - 69 = CONTROL JOINT
 - 70 = CONTROL JOINT
 - 71 = CONTROL JOINT
 - 72 = CONTROL JOINT
 - 73 = CONTROL JOINT
 - 74 = CONTROL JOINT
 - 75 = CONTROL JOINT
 - 76 = CONTROL JOINT
 - 77 = CONTROL JOINT
 - 78 = CONTROL JOINT
 - 79 = CONTROL JOINT
 - 80 = CONTROL JOINT
 - 81 = CONTROL JOINT
 - 82 = CONTROL JOINT
 - 83 = CONTROL JOINT
 - 84 = CONTROL JOINT
 - 85 = CONTROL JOINT
 - 86 = CONTROL JOINT
 - 87 = CONTROL JOINT
 - 88 = CONTROL JOINT
 - 89 = CONTROL JOINT
 - 90 = CONTROL JOINT
 - 91 = CONTROL JOINT
 - 92 = CONTROL JOINT
 - 93 = CONTROL JOINT
 - 94 = CONTROL JOINT
 - 95 = CONTROL JOINT
 - 96 = CONTROL JOINT
 - 97 = CONTROL JOINT
 - 98 = CONTROL JOINT
 - 99 = CONTROL JOINT
 - 100 = CONTROL JOINT

- 1 = BRICK METAL
- 2 = BRICK METAL - CHIPS/SCOPE BY METAL-CON
- 3 = ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- 4 = ALUMINUM CANOPY REC-JACK SYSTEM
- 5 = CONTROL JOINT
- 6 = CONTROL JOINT
- 7 = CONTROL JOINT
- 8 = CONTROL JOINT
- 9 = CONTROL JOINT
- 10 = CONTROL JOINT
- 11 = CONTROL JOINT
- 12 = CONTROL JOINT
- 13 = CONTROL JOINT
- 14 = CONTROL JOINT
- 15 = CONTROL JOINT
- 16 = CONTROL JOINT
- 17 = CONTROL JOINT
- 18 = CONTROL JOINT
- 19 = CONTROL JOINT
- 20 = CONTROL JOINT
- 21 = CONTROL JOINT
- 22 = CONTROL JOINT
- 23 = CONTROL JOINT
- 24 = CONTROL JOINT
- 25 = CONTROL JOINT
- 26 = CONTROL JOINT
- 27 = CONTROL JOINT
- 28 = CONTROL JOINT
- 29 = CONTROL JOINT
- 30 = CONTROL JOINT
- 31 = CONTROL JOINT
- 32 = CONTROL JOINT
- 33 = CONTROL JOINT
- 34 = CONTROL JOINT
- 35 = CONTROL JOINT
- 36 = CONTROL JOINT
- 37 = CONTROL JOINT
- 38 = CONTROL JOINT
- 39 = CONTROL JOINT
- 40 = CONTROL JOINT
- 41 = CONTROL JOINT
- 42 = CONTROL JOINT
- 43 = CONTROL JOINT
- 44 = CONTROL JOINT
- 45 = CONTROL JOINT
- 46 = CONTROL JOINT
- 47 = CONTROL JOINT
- 48 = CONTROL JOINT
- 49 = CONTROL JOINT
- 50 = CONTROL JOINT
- 51 = CONTROL JOINT
- 52 = CONTROL JOINT
- 53 = CONTROL JOINT
- 54 = CONTROL JOINT
- 55 = CONTROL JOINT
- 56 = CONTROL JOINT
- 57 = CONTROL JOINT
- 58 = CONTROL JOINT
- 59 = CONTROL JOINT
- 60 = CONTROL JOINT
- 61 = CONTROL JOINT
- 62 = CONTROL JOINT
- 63 = CONTROL JOINT
- 64 = CONTROL JOINT
- 65 = CONTROL JOINT
- 66 = CONTROL JOINT
- 67 = CONTROL JOINT
- 68 = CONTROL JOINT
- 69 = CONTROL JOINT
- 70 = CONTROL JOINT
- 71 = CONTROL JOINT
- 72 = CONTROL JOINT
- 73 = CONTROL JOINT
- 74 = CONTROL JOINT
- 75 = CONTROL JOINT
- 76 = CONTROL JOINT
- 77 = CONTROL JOINT
- 78 = CONTROL JOINT
- 79 = CONTROL JOINT
- 80 = CONTROL JOINT
- 81 = CONTROL JOINT
- 82 = CONTROL JOINT
- 83 = CONTROL JOINT
- 84 = CONTROL JOINT
- 85 = CONTROL JOINT
- 86 = CONTROL JOINT
- 87 = CONTROL JOINT
- 88 = CONTROL JOINT
- 89 = CONTROL JOINT
- 90 = CONTROL JOINT
- 91 = CONTROL JOINT
- 92 = CONTROL JOINT
- 93 = CONTROL JOINT
- 94 = CONTROL JOINT
- 95 = CONTROL JOINT
- 96 = CONTROL JOINT
- 97 = CONTROL JOINT
- 98 = CONTROL JOINT
- 99 = CONTROL JOINT
- 100 = CONTROL JOINT





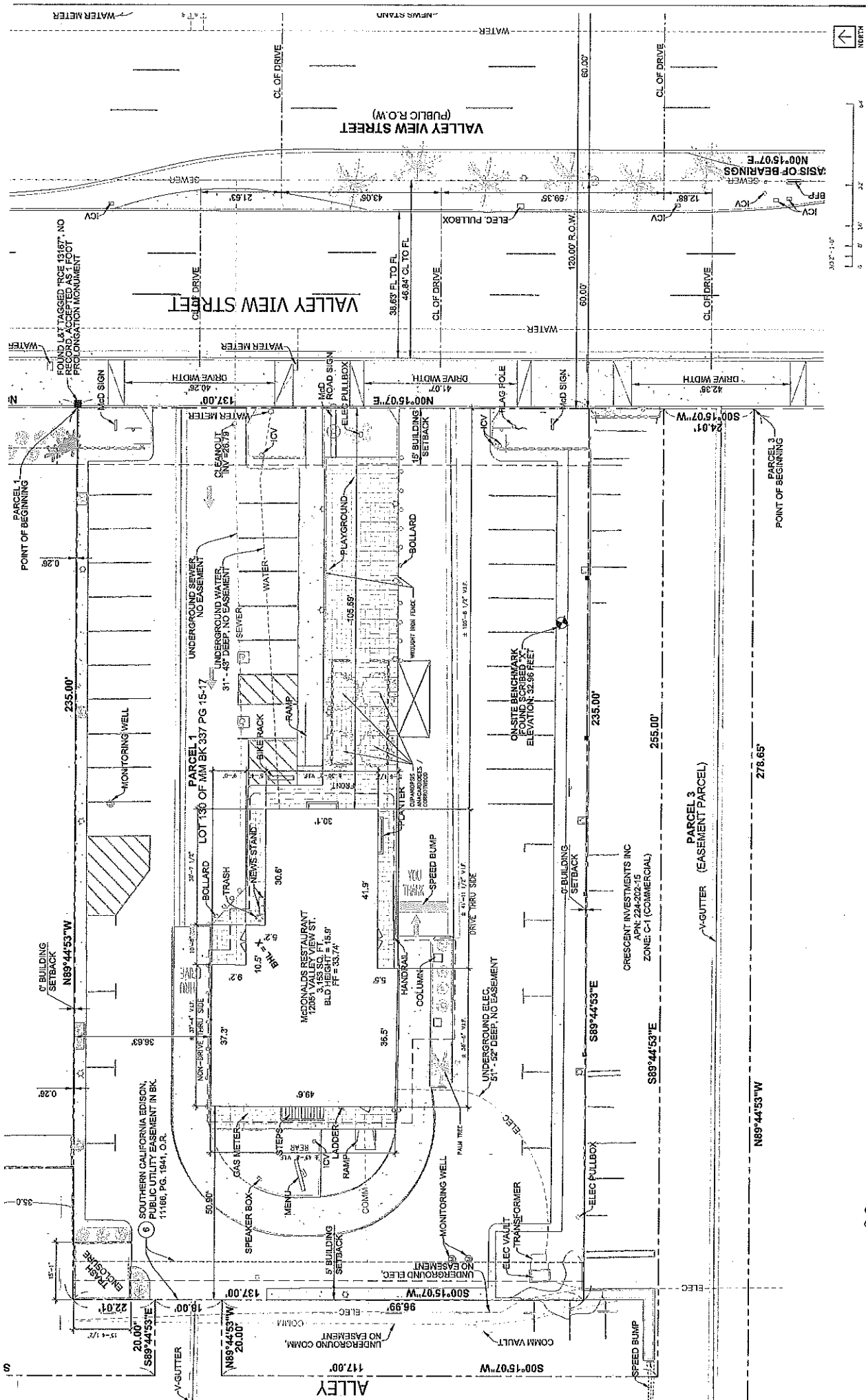
1 DRIVE THRU ELEVATION (SOUTH)
A2.1 1/4" = 1'-0"



3 REAR ELEVATION (WEST)
A2.1 1/4" = 1'-0"

- KEY NOTES:**
- 1 - TYPE
 - 2 - COLOR
 - 3 - MATERIAL
 - 4 - FINISH
 - 5 - COLOR
 - 6 - MATERIAL
 - 7 - FINISH
 - 8 - COLOR
 - 9 - MATERIAL
 - 10 - FINISH
 - 11 - COLOR
 - 12 - MATERIAL
 - 13 - FINISH
 - 14 - COLOR
 - 15 - MATERIAL
 - 16 - FINISH
 - 17 - COLOR
 - 18 - MATERIAL
 - 19 - FINISH
 - 20 - COLOR
 - 21 - MATERIAL
 - 22 - FINISH
 - 23 - COLOR
 - 24 - MATERIAL
 - 25 - FINISH
 - 26 - COLOR
 - 27 - MATERIAL
 - 28 - FINISH
 - 29 - COLOR
 - 30 - MATERIAL
 - 31 - FINISH
 - 32 - COLOR
 - 33 - MATERIAL
 - 34 - FINISH
 - 35 - COLOR
 - 36 - MATERIAL
 - 37 - FINISH
 - 38 - COLOR
 - 39 - MATERIAL
 - 40 - FINISH
 - 41 - COLOR
 - 42 - MATERIAL
 - 43 - FINISH
 - 44 - COLOR
 - 45 - MATERIAL
 - 46 - FINISH
 - 47 - COLOR
 - 48 - MATERIAL
 - 49 - FINISH
 - 50 - COLOR
 - 51 - MATERIAL
 - 52 - FINISH
 - 53 - COLOR
 - 54 - MATERIAL
 - 55 - FINISH
 - 56 - COLOR
 - 57 - MATERIAL
 - 58 - FINISH
 - 59 - COLOR
 - 60 - MATERIAL
 - 61 - FINISH
 - 62 - COLOR
 - 63 - MATERIAL
 - 64 - FINISH
 - 65 - COLOR
 - 66 - MATERIAL
 - 67 - FINISH
 - 68 - COLOR
 - 69 - MATERIAL
 - 70 - FINISH
 - 71 - COLOR
 - 72 - MATERIAL
 - 73 - FINISH
 - 74 - COLOR
 - 75 - MATERIAL
 - 76 - FINISH
 - 77 - COLOR
 - 78 - MATERIAL
 - 79 - FINISH
 - 80 - COLOR
 - 81 - MATERIAL
 - 82 - FINISH
 - 83 - COLOR
 - 84 - MATERIAL
 - 85 - FINISH
 - 86 - COLOR
 - 87 - MATERIAL
 - 88 - FINISH
 - 89 - COLOR
 - 90 - MATERIAL
 - 91 - FINISH
 - 92 - COLOR
 - 93 - MATERIAL
 - 94 - FINISH
 - 95 - COLOR
 - 96 - MATERIAL
 - 97 - FINISH
 - 98 - COLOR
 - 99 - MATERIAL
 - 100 - FINISH





McDonald's USA, LLC

EXISTING SITE PLAN

McDonald's Restaurant #004-0379
 12051 VALLEY VIEW STREET, GARDEN GROVE, CA

WARE MALCOMB

1910 E. 155th St.
 91-2215

CHIEF ENGINEER
 SP-0

ARCHITECT

WARE MALCOMB
 18 BUREAU
 IRVINE, CA 92614
 FOR ROBERT
 949-252-0159
 FAX 949-252-1259

OWNER REPRESENTATIVE

McDonald's USA, LLC
 SOUTHERN CALIFORNIA REGION
 1950 EIGHTH AVENUE, SUITE 200
 LONG BEACH, CA 90802
 CAROL ANN BAKER
 AREA CONSTRUCTION MANAGER
 562-433-7575
 FAX 562-752-8009

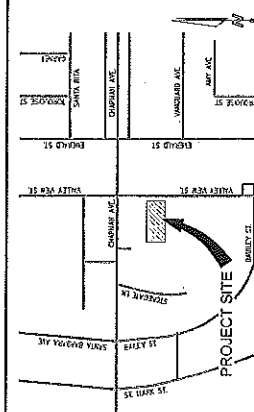
SITE and BUILDING INFORMATION

LOT AREA: 43,246 S.F. (VERIFY WITH ALTA SURVEY)
TOTAL LANDSCAPE AREA: 4,170 S.F. = 0.10 ACRE WITH 144' (INCLUDING STRIPES)
TOTAL LANDSCAPE AREA: 3,800 S.F. = 0.09 ACRE (BRIDGE CURVE PROPERTY LINES)
PARKING AREA: 2,571 S.F. (4,302 PARKING SPACES) (INCLUDING STRIPES)
EXISTING BUILDING/PARKING INFORMATION:
EXISTING BUILDING: A-2 (RESTAURANT)
EXISTING BUILDING TYPE: ONE-STORY BUILDING
EXISTING NO. OF PARKING SPACES: 3,337 STALLS
BUILDING INFORMATION:
COMPANY TYPE: A-2
USE: RESTAURANT
DATE: 08/2014
PROJECT NO.: 2014-001
BUILDING HEIGHT: 20'-3" TO TOP OF ROOF CAP ELEVATION
BUILDING HEIGHT HANDING: 15'-9" 1/2" TOP OF PARAPET
PROPOSED BUILDING FLOOR AREA: 3,861 S.F.
PROPOSED BUILDING TYPE: RESTAURANT
PARKING SPACES (PROPOSED): 345 PARKING SPACES
TOTAL PARKING PROVIDED: 379 STALLS
DRIVE THRU ENCLOSURE: 2 STALLS
TOTAL PARKING PROVIDED: 41 STALLS

SHEET INDEX

20-0 EXISTING SITE PLAN AND BUILDING INFORMATION
 21-0 CONCEPTUAL SITE PLAN
 22-0 FLOOR PLAN
 23-0 EXISTING ELEVATION
 24-0 PROPOSED ELEVATION
 25-0 COLOR EXTERIOR ELEVATION
 26-0 COLOR EXTERIOR ELEVATION

VICINITY MAP

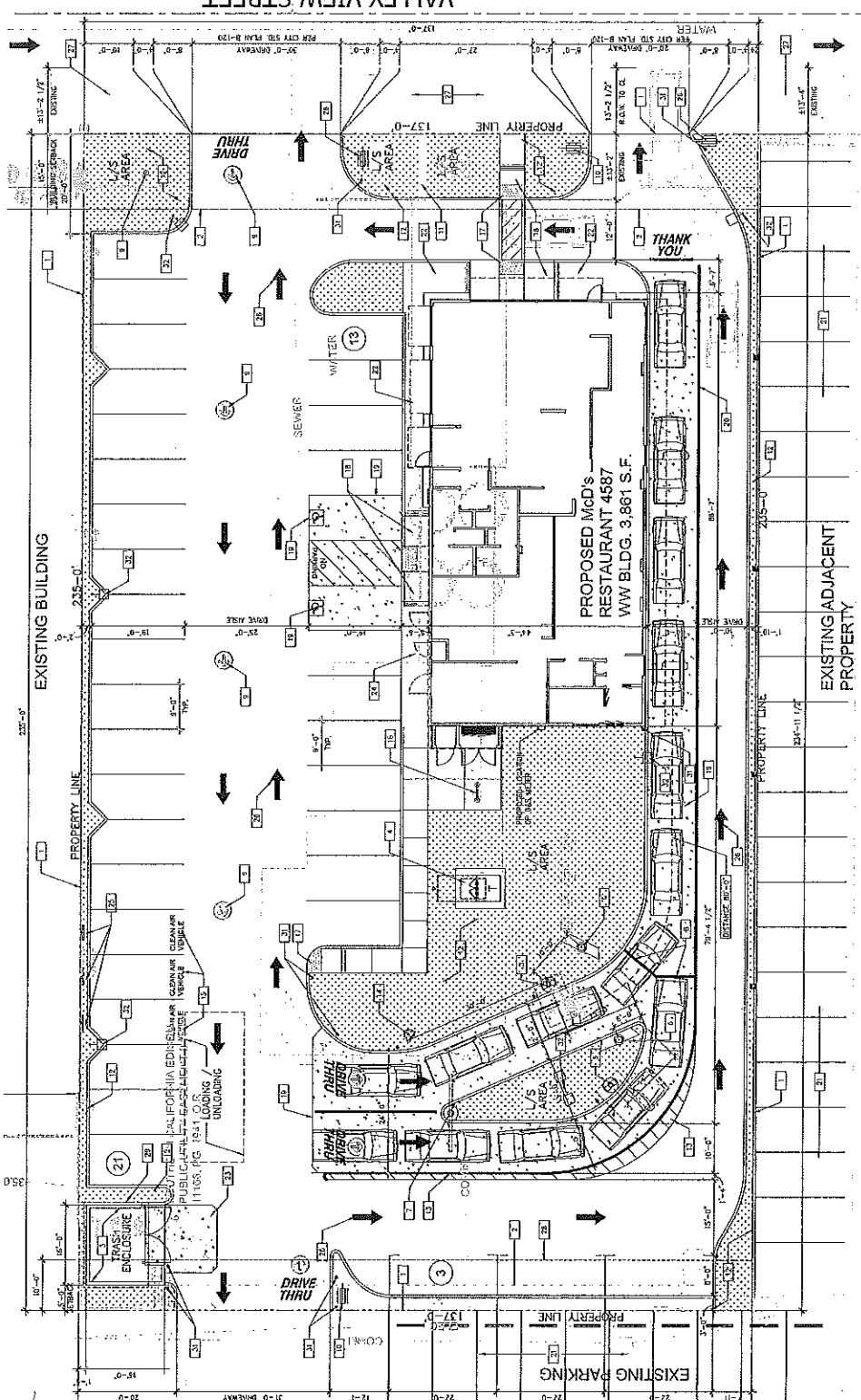


LEGAL DESCRIPTION

ASSESSOR'S PARCEL NUMBER:
 MCDONALD'S PROPERTY - PARCEL 1: # 224-202-14
 MCDONALD'S PROPERTY - PARCEL 2: # 224-202-15 FOR VEHICULAR & PEDESTRIAN
 EASEMENT - PARCEL 3: # 224-202-15 FOR VEHICULAR & PEDESTRIAN

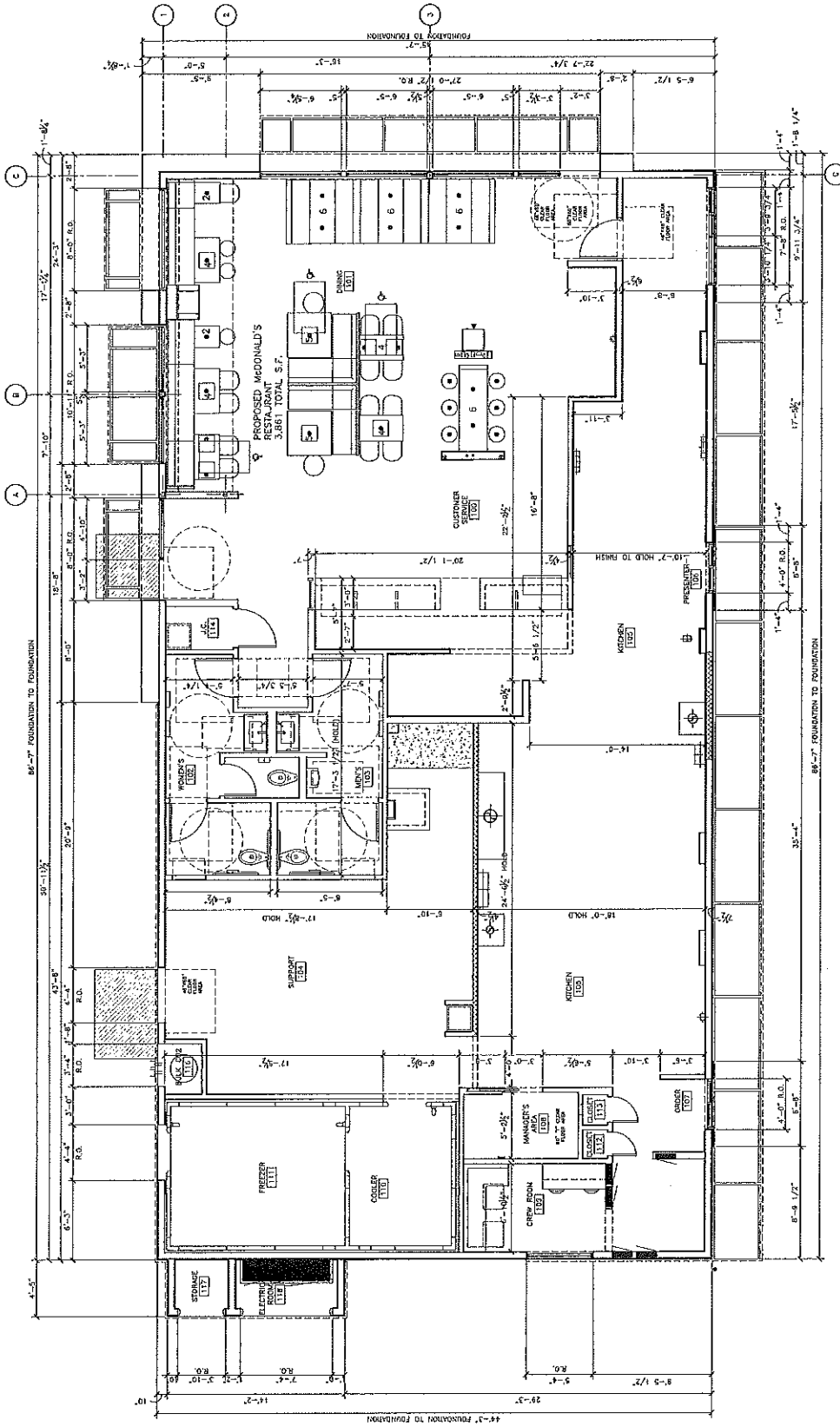


WARE MALCOMB
 SHEET
 IVD-0124-00
 01.22.15
SP-1



- SITE PLAN NOTES**
- PROPERTY LINE (---)
 - ENCLOSURE/STRIPES LINE (---)
 - PROPOSED TRASH ENCLOSURE PER CITY STANDARD REQUIREMENTS
 - PROPOSED ELECTRICAL TRANSFORMER LOCATION
 - PROPOSED CUSTOMER ORDER DISPLAY PER MCDONALD'S STANDARDS
 - PROPOSED DRIVE THRU PER MCDONALD'S STANDARDS
 - DOUBLE DRIVEWAY SIGN PER MCDONALD'S STANDARDS
 - PAINTED REDUCE SPEED SIGN
 - PAINTED YELLOW SPEED SIGN
 - ADJACENT EXISTING PARKING STALL
 - TYPICAL DIRECTIONAL SIGN, ONE WAY SIGN BY SIGN COMPANY. PROPOSED DRIVE THRU AND DIRECTIONAL SIGN, REFER TO SIGN PACKAGE.
 - EXISTING PEDESTRIAN SIGN TO REMAIN, REFER TO SIGN PACKAGE.
 - BRUSH ENCLOSURE CONCRETE APRON
 - BUILDING CONCRETE SIDEWALK NATURAL COLOR TOLED, JOINT AND EXPANSION JOINT PATTERN AS SHOWN THROUGH UNIT BRICK, TYPICAL
 - STANDARD REQUIREMENTS - SPECIFIC PARKING SIGN, PER CITY
 - MCDONALD'S PARKING LOT DIRECTIONAL SIGN ARROW (UNDER SEPARATE PERMITTING) REFER TO SIGN PACKAGE
 - STANDARD REQUIREMENTS - SPECIFIC PARKING SIGN, PER CITY STANDARDS AS REQUIRED PER CITY STANDARDS, REFER TO CIVIL ENGINEERING
 - LINE OF UTILITY ELEVATION
 - USE OF TRASH ENCLOSURE HOSE COVER
 - PLAN FILE
 - FILLED CONCRETE TIE BELLARS, REFER TO CIVIL DRAWINGS
 - CONCRETE TIE BELLARS, REFER TO ELECTRICAL SITE PLAN (S-1) SHEET

CONCEPTUAL SITE PLAN
 McDonald's Restaurant #0004-0379
 12051 VALLEY VIEW STREET, GARDEN GROVE, CA



McDonald's USA, LLC

PROPOSED FLOOR PLAN
 McDonald's Restaurant #004-0379
 12051 VALLEY VIEW STREET, GARDEN GROVE, CA

WARE MALCOMB
 17044155.00
 01232015
 SHEET
 A1.0

LEGEND

- LOW POINT
- H.P. HIGH POINT
- DIRECTION OF DRAINAGE
- TRUSS SYSTEM WITH ALUMINUM INTEL PANELS. SLOPE TO EDGE 6 1/4" PER FT.

KEY NOTES

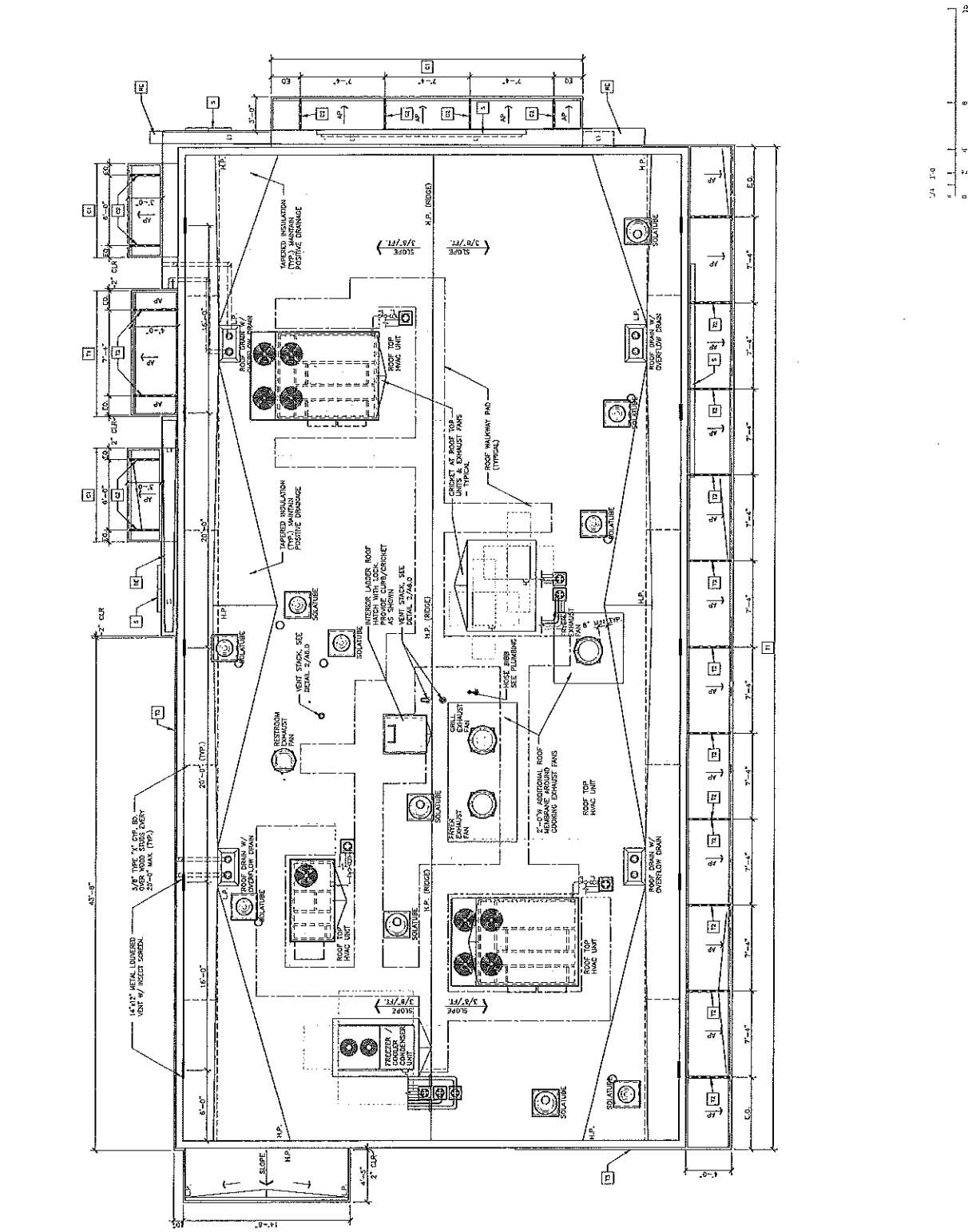
- ALUMINUM CANOPY SYSTEM
- ALUMINUM TRUSS TI-BACK SYSTEM - SEE DIMENSIONS
- ALUMINUM TRUSS SYSTEM - SEE DIMENSIONS
- ALUMINUM TRUSS TI-BACK SYSTEM - SEE DIMENSIONS
- 2" x 8" WALL PANDA SYSTEM - SEE DIMENSIONS

ROOFING NOTES

1. SINGLE-PLY ROOFING SYSTEM WITH MASS FLASHING ON CURBS AND WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING.
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PREPARATIONS AND PER DETAIL 2 OF THIS SHEET.
3. PROVIDE PRE-FABRICATED METAL CURBS, COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS BY/AREAS WHERE ROOF DECK IS FITTED, TO LOG CURB FOR EXACT LOCATION OF FAN/ST PANS, HVAC UNITS, AND ROOF PATCH. REFER TO STRUCTURAL DRAWINGS.
4. CURBS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

ROOFING SYSTEM

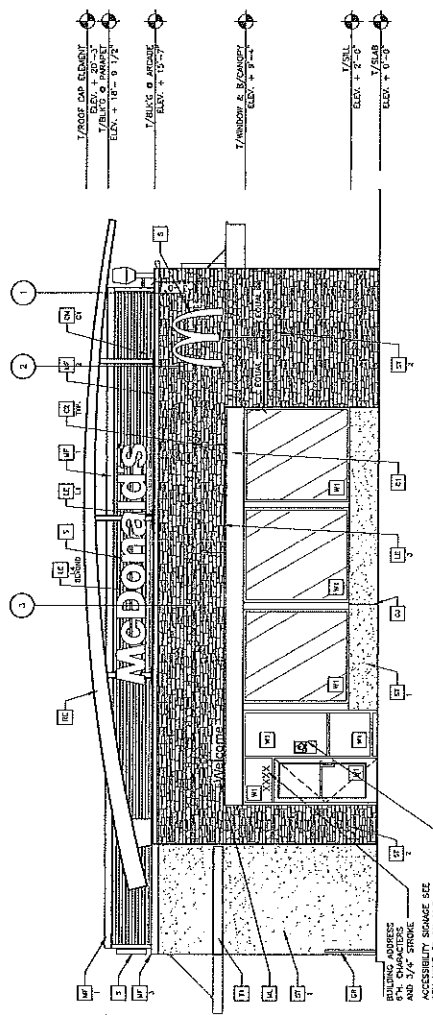
1. MANUFACTURERS AND PRODUCTS:
 - A. JOINT: INTERLOCKING ALUMINUM
 - B. INSULATION: POLYURETHANE
 - C. FLASHING: METAL
2. SECTORED ROOFING SYSTEMS (AS SHOWN):
 - A. HEAT-RESISTANT SINGLE-PLY OR MLT-PLI ROOFING SYSTEM, INSTALLED OVER RIGID INSULATION ON WOOD ROOF DECK HAVING A SLOPE OF 3/8" PER FT. MATERIALS SHALL BE AS FOLLOWS:
 - 1. THE ROOFING SYSTEM SHALL BE MANUFACTURED BY ONE OF THE FOLLOWING:
 - A. TYPICAL: 457R, AND 457R FOR WOOD DECK.
 - B. FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER'S INSTRUCTIONS.
 - C. TERMINATING STRIPS: PIPE FLASHING, ROOF FLASHING, ETC. AS PER MANUFACTURER.
 - 2. WALKWAYS:
 - A. 1/4" THICK WALKWAY ROLL NOT ATTACHED TO MEMBRANE.
 - B. EQUIPMENT AS PER ROOF PLAN ABOVE.
 - C. INSTALL WALKWAYS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
3. TAPPED INSULATION:
 - A. PROVIDE TAPPED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1" PER FOOT MIN. REQUIRED.
 - B. EXHAUST FANS:
 - 1. PROVIDE ADDITIONAL LAYER OF RIGID INSULATION AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.



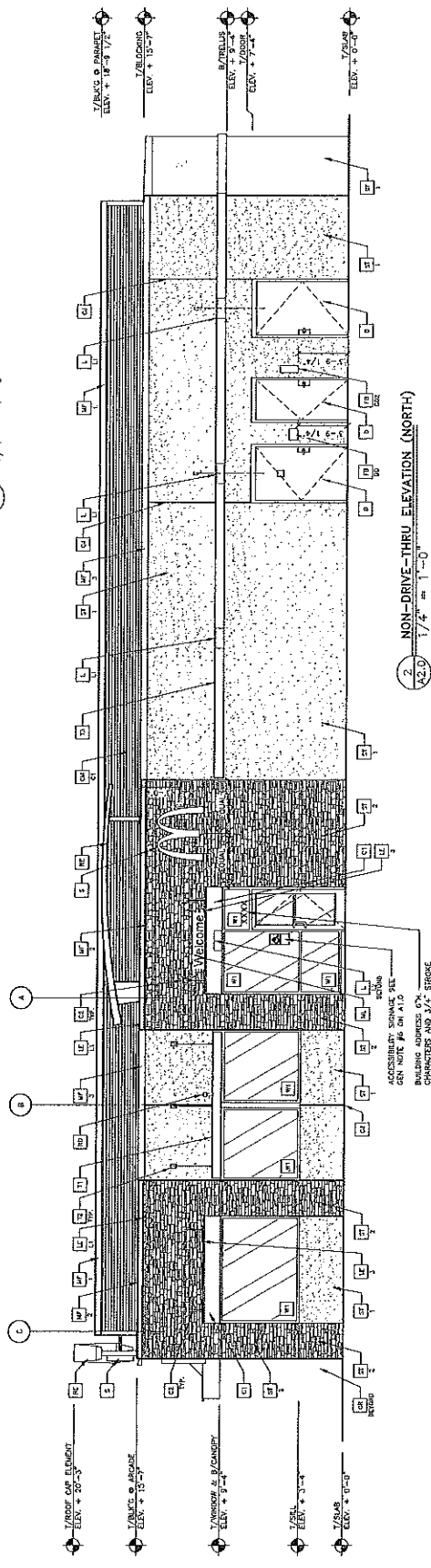
PROPOSED ROOF PLAN

McDonald's Restaurant #004-0279
11051 VALLEY VIEW STREET, GARDEN GROVE, CA

McDonald's USA, LLC

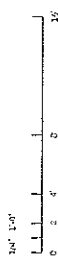


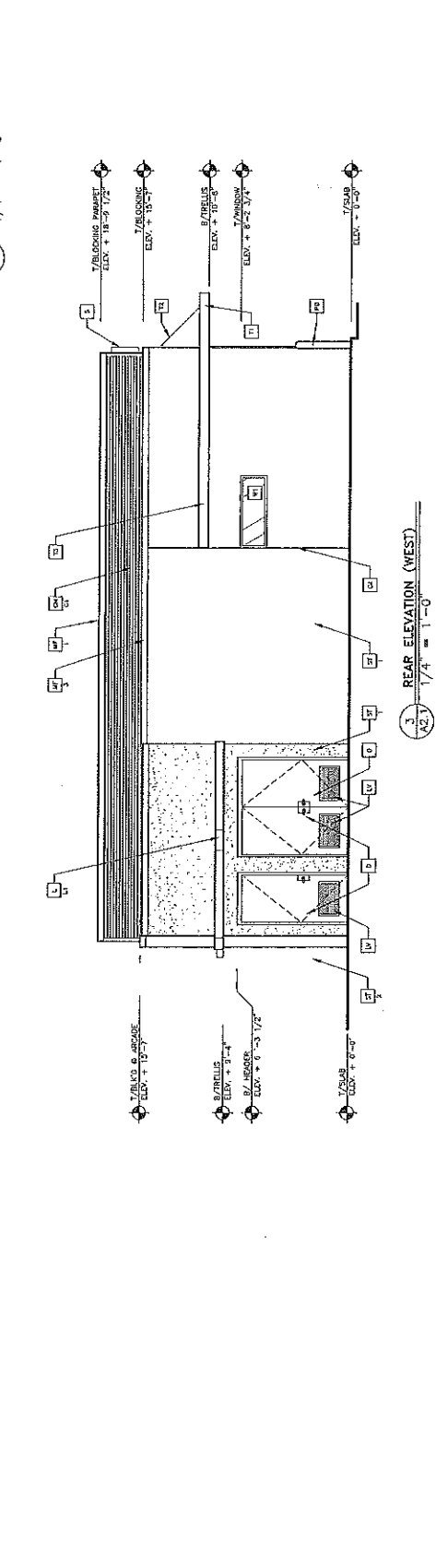
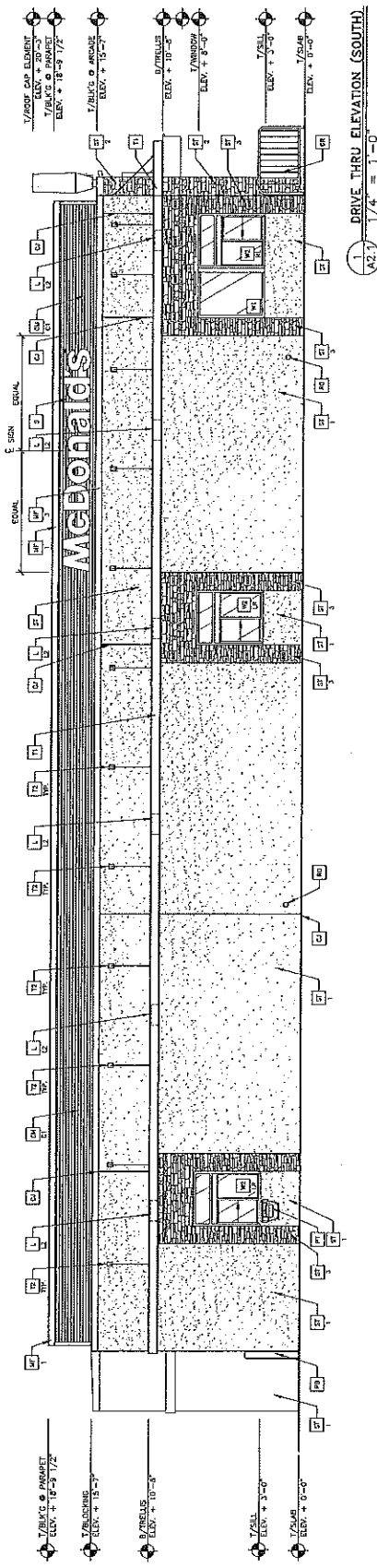
1 FRONT ELEVATION (EAST)
1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION (NORTH)
1/4" = 1'-0"

- KEY NOTES:**
- 1 - DRINK MTLN. COLOR = CHROMATE BY MCPH-CO
 - 2 - ALUMINUM CHERRY SYSTEM (COLOR CODE)
 - 3 - ALUMINUM CHERRY TI-BACK SYSTEM
 - 4 - COPPER JOINT
 - 5 - TRAC. 1 = STUCCO
 - 6 - COLORED MTLN. PAINT. - SEE ELECTRICAL
 - 7 - COLOR "ANTIQUE" BY MCPH-CO
 - 8 - YELLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
 - 9 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 10 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 11 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 12 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 13 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 14 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 15 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 16 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 17 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 18 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 19 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 20 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 21 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 22 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 23 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 24 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 25 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 26 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 27 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 28 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 29 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 30 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 31 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 32 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 33 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 34 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 35 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 36 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 37 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 38 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 39 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 40 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 41 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 42 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 43 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 44 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 45 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 46 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 47 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 48 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 49 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 50 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 51 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 52 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 53 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 54 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 55 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 56 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 57 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 58 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 59 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 60 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 61 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 62 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 63 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 64 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 65 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 66 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 67 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 68 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 69 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 70 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 71 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 72 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 73 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 74 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 75 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 76 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 77 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 78 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 79 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 80 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 81 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 82 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 83 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 84 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 85 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 86 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 87 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 88 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 89 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 90 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 91 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 92 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 93 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 94 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 95 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 96 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 97 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 98 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 99 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)
 - 100 - 2" - 2" x 2" x 1/2" (SEE ELECTRICAL)





- REV. NOTES:**
- A) BROWN METAL ROOF - MATCH TO MATCH COLOR OF EXISTING METAL ROOF
 - B) METAL LETTERING - SEE ELECTRICAL
 - C) METAL LETTERING - BY OTHERS
 - D) METAL LETTERING - BY OTHERS
 - E) METAL LETTERING - BY OTHERS
 - F) METAL LETTERING - BY OTHERS
 - G) METAL LETTERING - BY OTHERS
 - H) METAL LETTERING - BY OTHERS
 - I) METAL LETTERING - BY OTHERS
 - J) METAL LETTERING - BY OTHERS
 - K) METAL LETTERING - BY OTHERS
 - L) METAL LETTERING - BY OTHERS
 - M) METAL LETTERING - BY OTHERS
 - N) METAL LETTERING - BY OTHERS
 - O) METAL LETTERING - BY OTHERS
 - P) METAL LETTERING - BY OTHERS
 - Q) METAL LETTERING - BY OTHERS
 - R) METAL LETTERING - BY OTHERS
 - S) METAL LETTERING - BY OTHERS
- KEY:**
- A) METAL LETTERING - BY OTHERS
 - B) METAL LETTERING - BY OTHERS
 - C) METAL LETTERING - BY OTHERS
 - D) METAL LETTERING - BY OTHERS
 - E) METAL LETTERING - BY OTHERS
 - F) METAL LETTERING - BY OTHERS
 - G) METAL LETTERING - BY OTHERS
 - H) METAL LETTERING - BY OTHERS
 - I) METAL LETTERING - BY OTHERS
 - J) METAL LETTERING - BY OTHERS
 - K) METAL LETTERING - BY OTHERS
 - L) METAL LETTERING - BY OTHERS
 - M) METAL LETTERING - BY OTHERS
 - N) METAL LETTERING - BY OTHERS
 - O) METAL LETTERING - BY OTHERS
 - P) METAL LETTERING - BY OTHERS
 - Q) METAL LETTERING - BY OTHERS
 - R) METAL LETTERING - BY OTHERS
 - S) METAL LETTERING - BY OTHERS

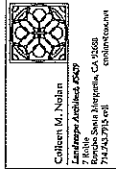


McDonald's USA, LLC

Proposed Exterior Elevations
 McDonald's Restaurant #004-0379
 12051 VALLEY VIEW STREET, GARDEN GROVE, CA

WARE MALCOMB
 ARCHITECTS
 SHEET A2.1

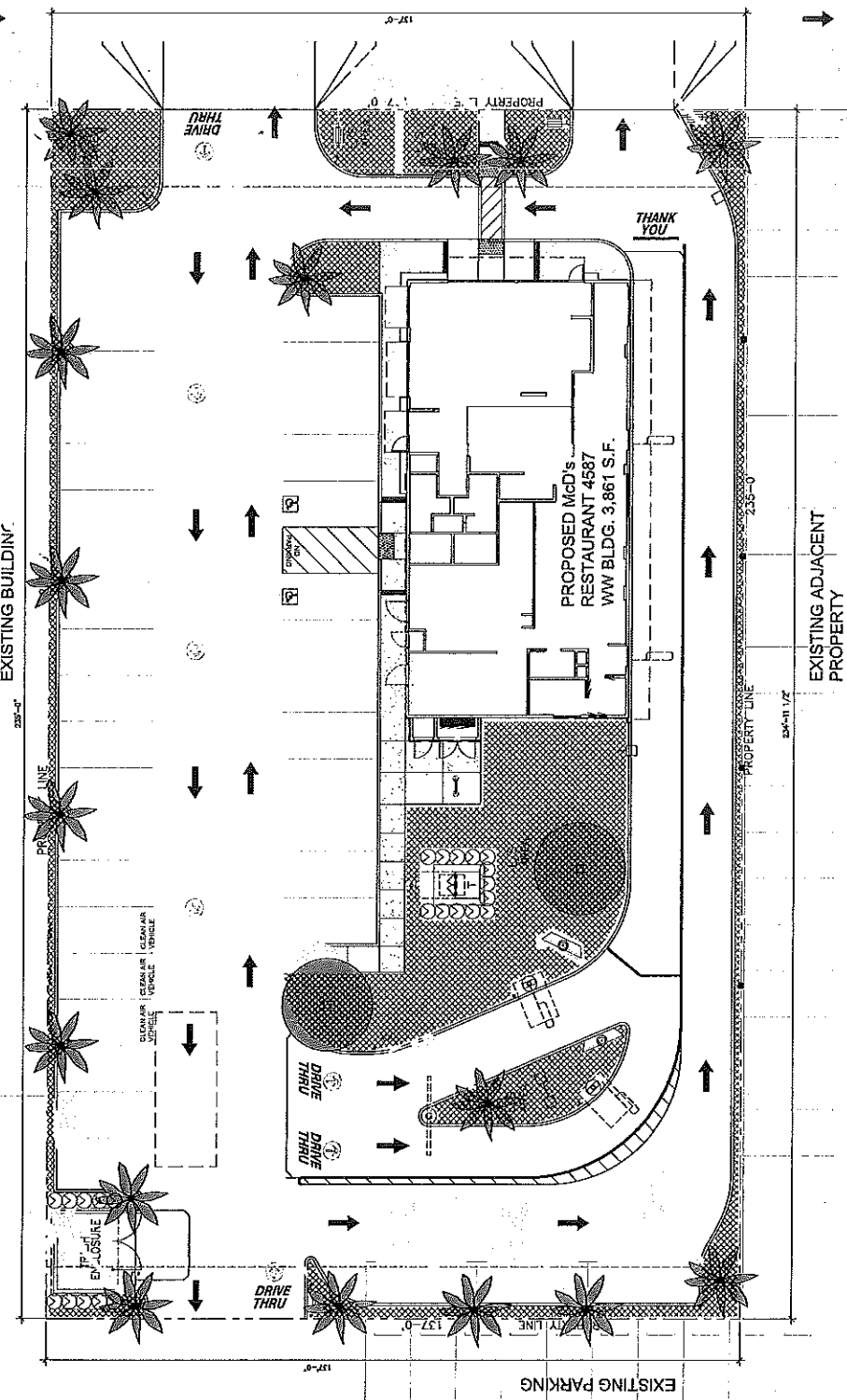
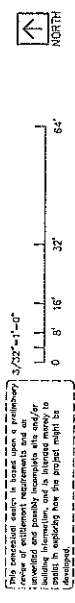
LANDSCAPE ARCHITECT



PRELIMINARY PLANT LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	PLACEMENT
(Symbol)	PROPOSED TREE		
(Symbol)	PROPOSED SHRUBS		
(Symbol)	PROPOSED GRASSES & VINES		
(Symbol)	PROPOSED ORNAMENTAL PLANTS		
(Symbol)	PROPOSED LIGHT FIXTURES		
(Symbol)	PROPOSED SIGNAGE		

ALL PLANTINGS SHALL BE INSTALLED WITHIN THE PROPOSED LANDSCAPE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PLANTINGS AND LIGHT FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PLANTINGS AND LIGHT FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE PROJECT.



1. CONTRACTOR SHALL VERIFY ALL PLANTINGS AND LIGHT FIXTURES ARE INSTALLED WITHIN THE PROPOSED LANDSCAPE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PLANTINGS AND LIGHT FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTINGS THROUGHOUT THE PROJECT.

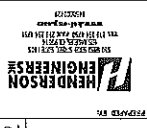
McDonald's USA, LLC

PRELIMINARY LANDSCAPE PLAN
 McDonald's Restaurant #004-0379
 12051 VALLEY VIEW AVE., GARDEN GROVE, CA

WARE MALCOMB
 RVT-0195-00
 02.06.13

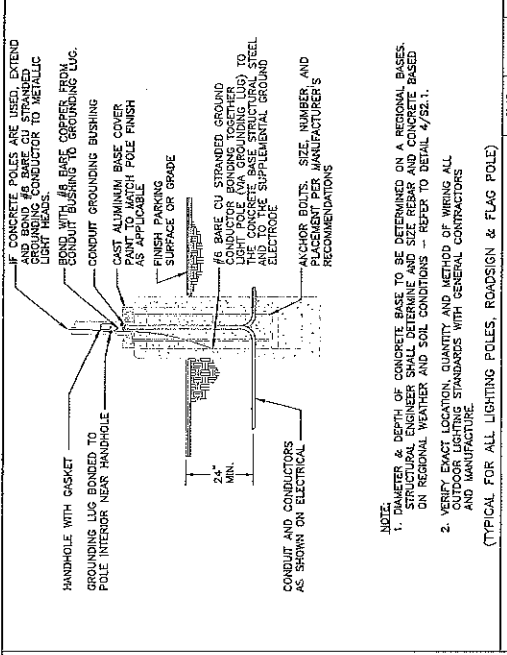
REV	DATE	DESCRIPTION

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF THE PROJECT ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



M. McDonald's USA, LLC
 60131 PROMENADE USA, LLC
 1500 WEST 1500TH AVENUE
 SUITE 100
 DENVER, CO 80202
 303.755.1000

PROJECT NO.	1500 WEST 1500TH AVENUE
DATE	01/15/2015
DESIGNED BY	
CHECKED BY	
DATE	
PROJECT NO.	1500 WEST 1500TH AVENUE
DATE	01/15/2015
DESIGNED BY	
CHECKED BY	
DATE	



LOT LIGHT POLE DETAIL ES.1.2

IF CONCRETE POLES ARE USED, EXTEND ANCHOR BOLTS TO THE TOP OF THE CONCRETE AND WELD TO METALLIC LIGHT HEADS.

BOND WITH #6 BARE COPPER FROM CONDUIT BUSHING TO GROUNDING LUG.

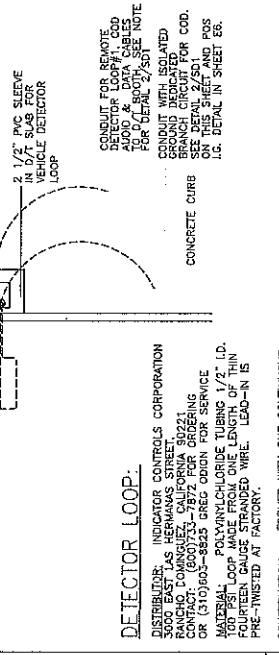
CAST ALUMINUM BASE COVER PAINT TO MATCH POLE FINISH AS APPLICABLE.

FINISH PARKING SURFACE OR GRADE.

#6 BARE CU STRANDED GROUND LIGHT POLE (WITH GROUNDING LUG) TO THE CONCRETE BASE STRUCTURAL STEEL TO PROVIDE SUPPLEMENTAL GROUND ELECTRODE.

ANCHOR BOLTS, SIZE, NUMBER, AND PLACEMENT PER MANUFACTURER'S RECOMMENDATIONS.

CONDUIT AND CONDUCTORS AS SHOWN ON ELECTRICAL.



DETECTOR LOOP.

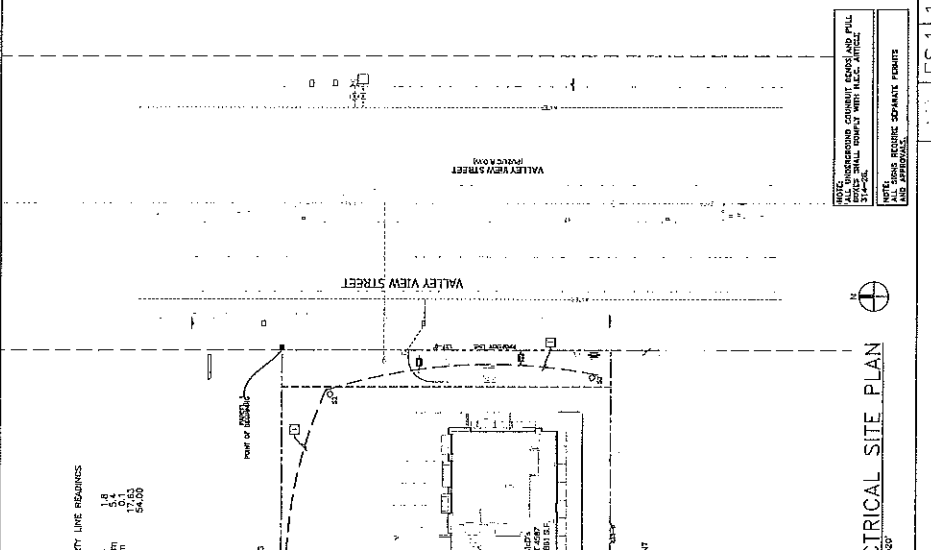
CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS IN DRAWING ABOVE. WIRE LOOPED, FORMED & PICTAILED AS ILLUSTRATED ON THIS SHEET.

NOTE: DO NOT USE REINFORCEMENT RODS BELOW LOOP. KEEP ALL REBAR AND SCREENING AT LEAST 2 FEET AWAY FROM LOOP.

REMOLE VEHICLE DETECTOR WIRING DIAGRAM ES.1.3

NOTICE:

- UTILITY COMPANY CONDUITS & ROUTING SHOWN FOR BIDDING PURPOSES ONLY. ACTUAL LOCATION, SIZE & ROUTING SHALL BE DETERMINED BY THE UTILITY COMPANY. CONTACT UTILITY COMPANY FOR COORDINATION & INSTALLATION REQUIREMENTS. ALL UNDERGROUND CONDUIT SIZES AND PULL BOXES SHALL COMPLY WITH 2008 NEC ARTICLE 314-28.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- ALL EXTERIOR LIGHT POLES WILL COMPLY WITH LIGHTING POWER REQUIREMENTS PER 9010 CALIFORNIA GREEN BUILDING STANDARDS CODE, SECTION 5.106.8 LIGHT POLLUTION REDUCTION AS REQUIRED.
- REFER TO SHEET ES.1 UNDER "UTILITIES" NOTES FOR ADDITIONAL INFORMATION.

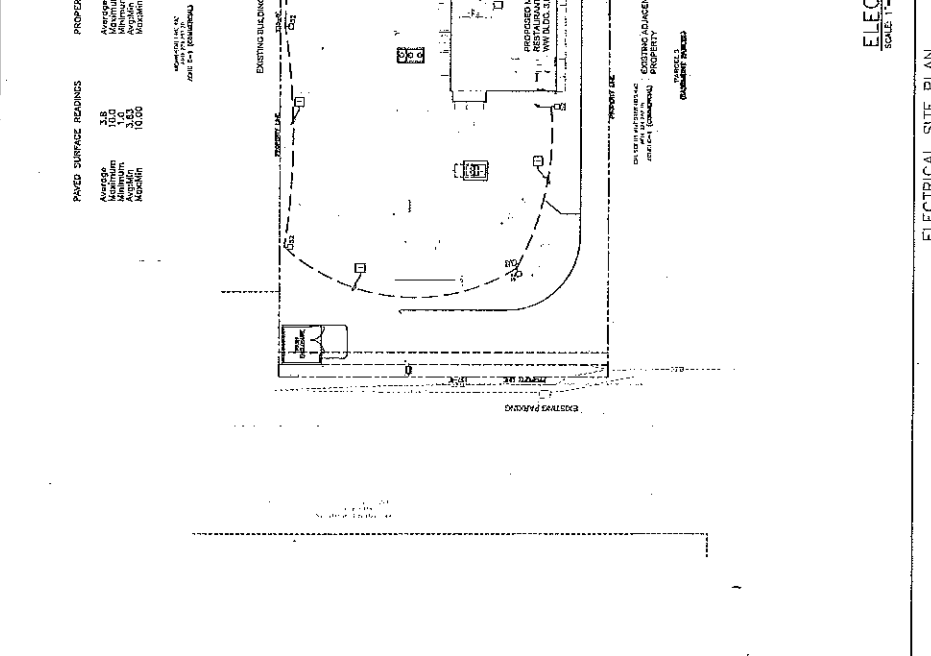


ELECTRICAL SITE PLAN ES.1.1

PROPOSED AT 3/4" = 1'-0" & 1/16" E.C.

PLAN NOTES

- CONTRACTOR TO VERIFY ALL UTILITIES, INCLUDING ALL EXISTING AND PROPOSED UTILITIES, PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED.
- ALL UNDERGROUND CONDUIT SHALL BE #10 AWG. ALL UNDERGROUND CONDUIT SHALL BE #10 AWG. ALL UNDERGROUND CONDUIT SHALL BE #10 AWG.
- CONTRACTOR TO VERIFY ALL UTILITIES, INCLUDING ALL EXISTING AND PROPOSED UTILITIES, PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.



McDONALD'S ROAD SIGN ES.1.1

SITE PLAN GENERAL NOTES

- CONTRACTOR TO VERIFY ALL UTILITIES, INCLUDING ALL EXISTING AND PROPOSED UTILITIES, PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED.
- ALL UNDERGROUND CONDUIT SHALL BE #10 AWG. ALL UNDERGROUND CONDUIT SHALL BE #10 AWG.
- CONTRACTOR TO VERIFY ALL UTILITIES, INCLUDING ALL EXISTING AND PROPOSED UTILITIES, PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.

MARK SYMBOL	DESCRIPTION	DIFFUSER	WANTS	LAMPS	TYPE	BALLAST	MOUNTING	LOCATION	MANUFACTURER AND CATALOG NUMBER

SITE LIGHTING FIXTURE SCHEDULE:

CONTRACTOR TO VERIFY ALL UTILITIES, INCLUDING ALL EXISTING AND PROPOSED UTILITIES, PRIOR TO ANY CONSTRUCTION. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED. ALL UTILITIES SHALL BE DEPTH MARKED AND IDENTIFIED.

RESOLUTION NO. 5845-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-020-2015 FOR PROPERTY LOCATED AT 12051 VALLEY VIEW STREET, ASSESSOR'S PARCEL NO. 224-202-14.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in a regular session assembled on May 21, 2015, hereby approves Site Plan No. SP-020-2015 for a property located on the west side of Valley View Street, south of Chapman Avenue, at 12051 Valley View Street, Assessor's Parcel No. 224-202-14.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-020-2015, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Ware Malcomb for McDonald's USA, LLC.
2. The applicant is requesting Site Plan approval to reconstruct an existing McDonald's drive-thru restaurant with a new 3,861 square foot building.
3. The City of Garden Grove has determined that this action is exempt from review under the California Environmental Quality Act ("CEQA") pursuant to Section 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
4. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2 and is zoned Planned Unit Development No. PUD-104-73. The site is improved with a 3,153 square foot McDonald's drive-thru restaurant that will be demolished in order to construct a new, 3,861 square foot, McDonald's restaurant.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by the City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on May 21, 2015, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting on May 21, 2015; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Sections 9.32.030 are as follows:

FACTS:

The property is located on the west side of Valley View Street, south of Chapman Avenue. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 2, and is zoned Planned Unit Development No. PUD-104-73. The property is 32,194 square feet, and is presently improved with a 3,153 square foot McDonald's drive-thru restaurant that was constructed in 1974.

The applicant proposes to demolish the existing McDonald's building in order to construct a new, 3,861 square foot McDonald's restaurant building that is designed with the new corporate design.

The project has been designed to comply with the development standards of the zone, including setbacks, parking, and landscaping.

FINDINGS AND REASONS:

SITE PLAN:

1. The Site Plan complies with the spirit and intent of the provisions, conditions, and requirements of the Municipal Code and other applicable ordinances.

The property has a General Plan land use designation of Residential/Commercial Mixed Use 2 and is zoned Planned Unit Development No. PUD-104-73. The Residential/Commercial Mixed Use 2 is intended to provide for a mix of residential and commercial uses mostly around older underutilized, multi-tenant commercial developments. The PUD zone allows for commercial uses, including restaurants. The proposal includes demolishing the existing 3,153 square foot McDonald's restaurant, and replacing it with a new restaurant building that reflects the new corporate design for McDonald's. The new restaurant will have a total floor area of 3,861 square feet. The project is designed to comply with the development standards of the PUD zone, and complies with the required parking, setbacks, and landscaping.

2. The proposed development does not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The property is improved with a 3,153 square foot McDonald's drive-thru restaurant that will be demolished in order to construct a new, 3,861 square foot, single-story, McDonald's drive-thru restaurant designed to comply with the new corporate restaurant model.

The site will continue to be accessed from two (2) existing drive approaches located on Valley View Street that will be modified to accommodate the new

circulation pattern of the proposed design. The site will also continue to maintain the shared reciprocal access with the property at 12101 Valley View Street through an existing vehicular access drive aisle located along the rear property line. The project includes redesigning the drive aisles and the parking spaces to improve the site's circulation. The project complies with the required parking. The code requires a total of 39 parking spaces, and the project will provide a total of 41 parking spaces that consist of 37 parking stalls, and four (4) queuing spaces along the drive-thru lane.

The City's Traffic Engineering Section has reviewed the proposed project, and all appropriate conditions of approval and mitigation measures have been incorporated to minimize any adverse impacts to surrounding streets.

3. The development, as proposed, will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The utilities, drainage channels, and streets in the area are existing and adequate to accommodate the development, and all appropriate conditions of approval and mitigation measures will minimize any adverse impacts to surrounding streets. The proposed development will provide landscaping and proper grading of the site, thereby, providing adequate on-site drainage.

4. The proposed project will not adversely impact the Public Works Department ability to perform its required function.

The Public Works Department has reviewed the project, and has incorporated all the appropriate conditions of approval and mitigation measures to minimize any adverse impacts.

5. The development does have a reasonable degree of physical, functional, and visual compatibility with neighboring uses and desirable neighborhood characteristics.

The site is located in a commercial area along Valley View Street. The PUD-104-73 zoning designation allows the construction of a restaurant on the site. McDonald's has been operating at this location since 1974. The existing restaurant building will be demolished in order to rebuild a new McDonald's restaurant building that reflects the new corporate image. The proposed building design incorporates the use of decorative and architectural elements that will enhance the building design.

The proposed development will enhance the overall site's appearance, and compliment other improvements in the immediate vicinity. The project will include the provision of required landscape treatment along Valley View Street that is consistent with the PUD and applicable provisions of Title 9 of the Municipal Code. The project has been designed in accordance with the

provisions of the PUD, and complies with the required setbacks, parking, and landscaping.

6. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The project will include provision of landscaping along Valley View Street, within the setbacks, and within the interior of the property that complies with the landscaping requirements of Title 9 of the Municipal Code. This includes providing trees, ground cover, and shrubs, along with providing additional landscaping within the parking lot and with the landscaped setback areas to comply with the code.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan possesses characteristics that would justify the request in accordance with Municipal Code Section No. 9.32.030.D.3 (Site Plan).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Site Plan No. SP-020-2015.

EXHIBIT "A"

Site Plan No. SP-020-2015

12051 Valley View Street

CONDITIONS OF APPROVAL

GENERAL CONDITIONS

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval" as prepared by the City Attorney's Office, on the property. Proof of such recordation is required prior to issuance of building permits.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Ware Malcomb for McDonald's USA, LLC, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. All conditions of approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes to the Conditions of Approval require approval by the Planning Commission.
3. Approval of this Site Plan shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the Site Plan and/or these Conditions of Approval may be approved by the Community Development Director, in his or her discretion. Proposed modifications to the project and/or these Conditions of Approval determined by the Community Development Director not to be minor in nature, shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Public Works Engineering Division

6. The applicant shall be subject to Traffic Mitigation Fees in accordance with Chapter 9.44 of the Garden Grove Municipal Code, and all other applicable fees duly adopted by the City.
7. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and

make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design of the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability, and groundwater levels.

8. A separate street permit is required for work performed within the public right-of-way.
9. Grading plan shall be prepared by a registered Civil Engineer and is required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and be designed to preclude cross-lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan.
10. Prior to the issuance of any grading or building permits, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:
 - a. Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - b. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.
 - c. Incorporates structural and Treatment Control BMPs as defined in the DAMP.
 - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - f. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.

- g. Provide notice by recordation of the plan with the County Recorder's office to all future owners that said plan is bound in perpetuity to the property.
11. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available on-site.
 - d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs
 - e. File a record the plan with the County Recorder's office and forward the recorded document to the City of Garden Grove Engineering Division.
12. Prior to the issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size drainage facilities per Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
13. Prior to issuance of a grading permit, the applicant shall design overhead parking lot and pathway lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the grading plan.
14. All trash container areas shall meet the following requirement:
 - a. Area to be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, screened or walled to prevent off-site transport of trash.
 - b. Provide solid roof or awning to prevent direct precipitation into the enclosure.

- c. Provide a drain to a sanitary waste line. Connection of trash area drains to the municipal storm drain system is prohibited.
 - d. Potential conflicts with fire code and garbage hauling activities should be considered in implementing this source control.
 - e. See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information.
 - f. The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures.
 - g. Trash storage enclosures shall be constructed in accordance with City of Garden Grove Standard Plan B-502.
15. The applicant shall construct both entrances to the development per City of Garden Grove Standard Plan B-120 with a conforming ADA landing and pathways where public and private sidewalks intersect. All designs must conform to latest ADA standards.
 16. All parking spaces that abut to sidewalks that are not elevated with a curb face to the stall shall have wheel stops.
 17. The grading/horizontal control plan shall provide approximately 80 feet or four vehicles lengths between the service window and order board, and an additional 80 feet or four vehicle lengths of queuing distance behind the order board in conformance with the queuing requirements of City of Garden Grove Standard Plan B-312.
 18. The applicant shall provide the City with documentation on existing reciprocal access agreement on the west side of the property. Should no agreement exist, the applicant shall enter into an agreement with the adjacent property owner and record said agreement in a manner meeting the approval of the City Engineer prior to the issuance of a grading permit.
 19. Any new or required block walls and/or retaining walls shall be shown on the grading plans with a minimum height of six (6) feet from the highest finished grade. Cross sections shall be provided on the grading plan showing vertical and the horizontal relations of improvements and the property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer.
 20. The grading plan shall provide accessibility routes from entries on the buildings to the public street for the ADA pathways in conformance with the requirements of the Department of Justice Standards latest edition with a minimum allowable width of 48 inches.

21. Prior to issuance of a building permit, the applicant shall design and construct street frontage improvements as identified below:

Valley View Street

- a. Remove and replace the existing driveway approaches to the site in accordance with City of Garden Grove Standard Plan B-120. The proposed deviation of 20-feet is acceptable by the City Traffic Engineer for the southerly driveway approach to be utilized as an exit only driveway. Proper signage shall be shown on the grading/horizontal plan directing motorists not enter the site using the southerly driveway approach.
- b. Remove the existing sidewalk on Valley View Street and construct new 12-foot sidewalk adjacent to the existing street curb in accordance with City of Garden Grove Standard Plan B-106. Improvements are to meet and match existing public improvements to the immediate south and north of Valley View Street.

Public Works Water Services Division

22. The applicant is advised that Valley View Street is 1-year into a 5-year Moratorium against open cutting of the street. Tie-ins to utilities in the Public Right-of-way shall not be permitted.
23. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
24. Owner shall dedicate all rights to underground water without the right to surface entry.
25. Location and number of fire hydrants shall be as required by Water Services Division and the Fire Department.
26. If not already in place, a grease interceptor shall be required.
27. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.

Community Development Department

28. The applicant shall submit detailed plans, showing the proposed location of utilities and mechanical equipment, to the Community Development Department for review and approval prior to submitting plans into the Building Division Plan Check process. The project shall also be subject to the following:
 - a. All on-site and off-site utilities pertaining to the improvements proposed under this Site Plan shall be installed or relocated underground.
 - b. All above ground utility equipment (e.g., electrical, gas, telephone, cable TV, water meters, electrical transformer) shall not be located in the street setback and shall be screened to the satisfaction of the Community Development Director.
 - c. No roof-mounted mechanical equipment shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community Development Department prior to the issuance of building permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
 - d. All ground or wall-mounted mechanical equipment shall be screened from view from any place on or off the site.
 - e. No exterior piping, plumbing, or mechanical ductwork shall be permitted on any exterior façade and/or be visible from any public right-of-way or adjoining property. All roof access ladders shall be accessed for inside the building.
29. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Title Sections 8.47.040 to 8.47.060 referred to as the Noise Control Ordinance as adopted:
 - a. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
 - b. Sunday and Federal Holidays – may work the same hours but subject to the restrictions as stipulated in Sections 8.47.040 to 8.47.060 of the Municipal Code.
30. The property owner shall comply with the adopted City Noise Ordinance.
31. All landscaping shall be consistent with the landscape requirements of Title 9 of the Municipal Code. The developer shall submit a complete landscape plan

governing the entire development. The landscape irrigation plans shall include type, size, location and quantity of all plant material. The landscape plan shall include irrigation plans and staking and planting specifications. All landscape irrigation shall comply with the City's Landscape Ordinance and associated Water Efficiency Guidelines. The landscape plan is also subject to the following:

- a. A complete, permanent, automatic remote control irrigation system shall be provided for all landscaping areas shown on the plan. The sprinklers shall be of drip or microspray system sprinkler heads for water conservation.
- b. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. These trees shall be incorporated into the landscaped frontages of all streets. Where clinging vines are considered for covering walls, drought tolerant vines shall be used.
- c. Trees planted within ten feet (10') of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance.
- d. The landscaping treatment along the Valley View Street frontage, including the area designated as public right-of-way, all common areas, and the front setback areas of each unit, shall incorporate a mixture of groundcover, flowerbeds, shrubs, and trees to enhance the appearance of the property. The Community Development Department shall review the type and location of all proposed trees and plant materials. Said landscape area shall be the responsibility of the developer/operator of the McDonald's restaurant to maintain.
- e. The landscape plan shall incorporate and maintain for the life of the project those means and methods to address water run-off also identified as Low Impact Development provisions, which address water run-off. This is to also to be inclusive of any application of Water Quality Management Plans (WQMP), Drainage Area Management Plans (DAMP) and any other water conservation measures applicable to this type of development.
- f. At the time of irrigation installation, the irrigation system shall comply with all applicable provisions of the City's Water Conservation Ordinance, the City's Municipal Code landscape provisions, and all applicable state regulations.

32. As part of the finalized working drawings for Planning Division, Engineering Division and Building Plan Check, the developer shall submit a detailed and dimensioned plot plan, floor plans, exterior elevations and landscape plans that reflect the above conditions of approval. The plans shall indicate landscape materials, wall materials and building materials proposed for the project.
33. Litter shall be removed daily from the project site, including adjacent public sidewalks and all parking areas under the control of the developer. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
34. Graffiti shall be removed from the project site and all parking lots under the control of the developer within 120 hours of notification.
35. There shall be no deliveries from or to the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.
36. Wall signs and freestanding signs shall be permitted and shall conform to the sign requirements under Title 9 of the Municipal Code. The Community Development, Planning Division, shall review all signage prior to installation. All signs require a separate permit. The proposed monument sign shall be modified to comply with the height requirements of the zoning code. The applicant shall submit a separate sign application to the Planning Services Division for review and approval.
37. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the City's Planning Section. Lighting adjacent to residential properties shall be restricted to low decorative type wall-mounted lights, or a ground lighting system. Any new lighting that is provided within the revised parking lot area shall maintain a minimum of two foot-candles of light on the parking areas during business hours. Lighting in the parking areas shall be directed, positioned, or shielded in such manner so as not to unreasonably illuminate the windows of adjacent properties.
38. The applicant shall submit a light plan (photometric plan) to the Planning Services for review. The lighting shall be provided throughout the parking area at a minimum of two-foot candle of light during the hours of darkness when the businesses are open, and a one-foot candle of light during all other hours of darkness.
39. New perimeter walls, if proposed, shall be developed to City Standards or designed by a Registered Engineer, and shall be measured from the on-site finished grade, and shall be shown on the grading plan.

40. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, the use of electricity from power poles rather than diesel or gasoline powered generators, the use of methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible, the use of solar or low-emission water heaters, and the use of low-sodium parking lot lights, to ensure compliance with Title 24.
41. During construction, if paleontological or archeological resources are found, all attempts will be made to preserve in place or leave in an undisturbed state in compliance with CEQA.
42. The driveways from Valley View Street shall have enhanced concrete treatment. All details of the decorative entry shall be submitted on the required landscape plans for review and approval of the Community Development Department.
43. The proposed trash enclosure shall be designed to comply with the City's B-502 trash enclosure standard, or with an alternative design approved by the Public Works Engineering Division, which includes that installation of corrugated metal gates.
44. The trash enclosure shall match the color and exterior finish of the restaurant building. The proposed roof design of the trash enclosure shall be architecturally compatible with the design of the proposed restaurant design. The Planning Services Division shall review and approve the design of the proposed roof and the material(s). The proposed roof and materials shall also comply with the building code requirements.
45. The trash bins shall be kept inside the trash enclosures, and gates closed at all times, except during disposal and pick-up. The property owner shall provide sufficient trash bins and pick-up to accommodate the site.
46. Any and all corrections notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant and all agents thereof.
47. The design and operation of the drive-thru speaker system, including automatic timer, volume control, and message board, is subject to Planning Division review and approval. In the event that complaints are received from adjacent residential uses concerning noise created by the new food ordering speaker system, the applicant shall provide a plan to address the issues to the satisfaction of the Community Development Department.
48. The drive-thru menu/order board shall be designed to match the building, using the same color and materials.

49. A "Do Not Enter" sign shall be installed at the north end of the new one-way drive aisle located at the front of the new restaurant building.
50. The applicant/property owner shall submit signed letters acknowledging receipt of the decision approving Site Plan No. SP-020-2015, and his/her agreement with all conditions of approval.
51. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Site Plan No. SP-020-2015. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.2.	SITE LOCATION: South side of Garden Grove Boulevard, east of Beach Boulevard, at 8100 Garden Grove Boulevard
HEARING DATE: May 21, 2015	APN: 096-282-05 and 09
CASE NO.: Conditional Use Permit No. CUP-035-2015 and Conditional Use Permit No. CUP-151-05 Revocation	GENERAL PLAN: Residential/Commercial Mixed Use 1
APPLICANT: David S. Kim	ZONE: GGMU1 (Garden Grove Mixed Use 1)
PROPERTY OWNER: Same as applicant	CEQA DETERMINATION: Exempt

REQUEST:

The applicant is requesting Conditional Use Permit (CUP) approval to allow the operation of a new trade school, California Premier Culinary School, in conjunction with an existing religious trade school, Gospel Global University, in an existing 6,888 square foot one-story building. Also, a request to revoke Conditional Use Permit No. CUP-151-05, which previously allowed the operation of an adult day care facility, in the adjacent building located to the west of the subject building.

BACKGROUND:

The subject property is located on the south side of Garden Grove Boulevard, east of the Gospel First Korean Baptist Church that is located on the northwest corner of Coast Street and Garden Grove Boulevard. The property is a 1.37-acre site that is comprised of two (2) parcels held under common ownership, and developed with two single-story buildings. The two (2) buildings form a cohesive development at the rear of the property with a large parking area located in the front property. Each building is 6,888 square feet in gross floor area, and faces the other across an open courtyard, which provides no vehicular access. At the rear of the property is an open space recreation area improved with grass.

The subject property is zoned GGMU1 (Garden Grove Mixed Use 1), and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 1. The site abuts a GGMU1 zoned property to the west, GGMU1 and R-3 (Multiple-Family Residential) zoned properties to the east, the Garden Grove SR-22 Freeway and an R-3 zoned property to the south, and commercially developed uses across Garden Grove Boulevard, to the north, which are located in the City of Stanton.

On January 6, 2005, the City approved Conditional Use Permit No. CUP-151-05, which allowed the operation of an adult day care facility, New Life Adult Day Health Care Center.

On April 22, 2010, the City approved Conditional Use Permit No. CUP-292-10, which allowed the operation of a new religious trade school on the site, Gospel Global University, along with the previously approved adult day care facility operation. The religious trade school operates in the building to the east (Building B), and the now closed adult day care facility operated in the building to the west (Building A). Each business had different operating hours that ensured that no parking issues would arise.

Due to a lack of funding, the adult day care facility, operating in Building A, has been closed since September 7, 2012, according to business license records, and thereby is no longer in operation. The applicant has requested Conditional Use Permit approval to operate a new culinary trade school in conjunction with the existing religious trade school, both of which will operate solely in Building B. As part of this request, and to facilitate the approval of the new culinary trade school CUP, the City has therefore requested that Conditional Use Permit No. CUP-151-05, which formerly allowed the operation of the adult day care facility, be revoked based on the adult day care facility having ceased its operation. The purpose for removing the CUP is to have any prospective business occupying Building A to be fully subject to Staff review in order to lessen the possibility of parking impacts to the overall site.

DISCUSSION:

CONDITIONAL USE PERMIT:

There are two (2) buildings on the subject site. Building A, located on the west side of the property, was previously occupied and used by the adult day care center, which is no longer in operation. Building B, located on the east side of the property, will be occupied by the religious trade school and the new culinary trade school.

The operation of the religious trade school will be modified to accommodate the new culinary trade school. Whereas before, the religious trade school occupied the building, Building B, and now as part of CUP-035-2015, it will occupy and use only room nos. 100 and 107. Room no. 100 is 779 square feet and room no. 107 is 975 square feet. Based on the maximum occupancy allowed by the Building Code, for an "E" (education) occupancy, there is a maximum of 39 persons and 49 persons in each room, respectively. There are two (2) small offices accessible in Room No. 100, which are 184 square feet and 130 square feet, respectively.

The new culinary trade school will operate in Building B and occupy room nos. 101, 102, 103, 104, 105, and 106. The total gross floor area of room nos. 101-106 is 3,065 square feet. The classrooms of the proposed culinary trade school will be

improved primarily with large, fixed student cooking stations for classroom use. The Building Code calculates this type of occupancy at one (1) person per twenty (20) square feet, with the actual number of persons (students and instructors) to be significantly less. The setting of a classroom for a culinary trade school is very different than a traditional classroom setting, which is typically comprised of multiple small and movable desks and an instructor's desk.

For a trade school use, the Municipal Code requires one (1) parking space per employee, plus one (1) parking space per three (3) students capacity (based on maximum occupancy allowable by the Building Code). Additionally, for office space, Code requires one (1) parking space per 250 square feet.

For the purposes of calculating the minimum number of Code required parking spaces, for the culinary trade school, the area of fixed fixtures (i.e., the fixed cooking stations and the fixed cooking equipment) were removed from the gross floor area calculations, since they are not usable areas. Thus, after the area of those fixed fixtures is removed, the remaining area is 2,399 square feet. Based on a maximum allowable occupancy of one (1) person per twenty (20) square feet, the maximum occupancy is 119.5. The culinary trade school is required to provide a minimum of forty (40) parking spaces for the instructional area. The culinary trade school provides 440 square feet of office space, which requires 1.8 parking spaces. And, finally, the applicant has indicated that the culinary trade school will have six (6) instructors, which requires six (6) parking spaces. Therefore, Code requires a minimum of forty-eight (48) parking spaces for the culinary trade school (40+1.8+6).

The religious trade school, occupying room nos. 100 and 107, will have a gross floor area of 1,754 square feet. There are no fixed fixtures in these two classrooms. Thus, the minimum number of required parking, for the instructional area, is based on the maximum occupancy allowable by the Building Code. The maximum occupancy is 87.7. The religious trade school is required to provide a minimum of 29.2 parking spaces for the instructional area. The religious trade school provides 314 square feet of office space, which requires 1.3 parking spaces. And, finally, the applicant has indicated that the religious trade school will have two (2) instructors, which requires two (2) parking spaces. Therefore, Code requires a minimum of thirty-four (34) parking spaces for the religious trade school.

Parking Tabulation	Minimum # of Required Parking Spaces	
	Culinary Trade School	Religious Trade School
Instructional Area	40	30
Office Area	2	2
Instructors	6	2
Total # of Required Parking Spaces	48	34

The culinary trade school and the religious trade school will operate at different times of the day. The culinary trade school will have five (5) to six (6) classes per day, Monday through Saturday, with no proposed classes on Sunday. Class duration, depending on the class, varies between 2 ½ to four hours. Each class will have one (1) instructor and between ten (10) to twenty-five (25) students. The culinary trade school will have its first class, beginning at 10:00 a.m. each day. The last culinary class ends at 6:30 p.m. each day. The religious trade school will operate from 7:00 p.m. to 10:00 p.m. each day. Per the proposed schedules, there will be no overlap of hours of operation between the two businesses. As stated above, Code requires the culinary trade school to provide a minimum of forty-eight (48) parking spaces, and the religious trade school to provide a minimum of thirty-four (34) parking spaces. The subject site provides a total of sixty-one (61) parking spaces. Because the two trade school businesses will operate at different times, and will be restricted as such (a condition of approval under CUP-035-2015), there is sufficient parking to accommodate both uses. The conditions of approval for the subject project state that in the event there are any parking or traffic circulation issues caused by the subject proposed businesses, the applicant shall prepare a parking/traffic mitigation plan to the satisfaction of the City.

REVOCATION OF CUP-151-05:

To facilitate the approval of CUP-035-2015, which is a request to allow the operation of the new culinary trade school in conjunction with the existing religious trade school, the City has requested to revoke Conditional Use Permit No. CUP-151-05, which formerly allowed the operation of the adult day care facility in Building A, based on the adult day care facility having ceased its operation. As part of the approval of CUP-035-2015, no use will be permitted in Building A. This will ensure that sufficient parking is provided to accommodate the culinary trade school and the religious trade school. Should the applicant propose a new use to occupy Building A in the future, the parking situation, and any other applicable Code provisions, will be reviewed and addressed in a manner meeting the requirements of the Municipal Code.

The Community Development Department and the Police Department have reviewed the request and are supporting the proposal.

RECOMMENDATION:

Staff recommends that the Planning Commission:

- Approve Conditional Use Permit No. CUP-035-2015, subject to the recommended conditions of approval; and
- Approve the revocation of Conditional Use Permit No. CUP-151-05.

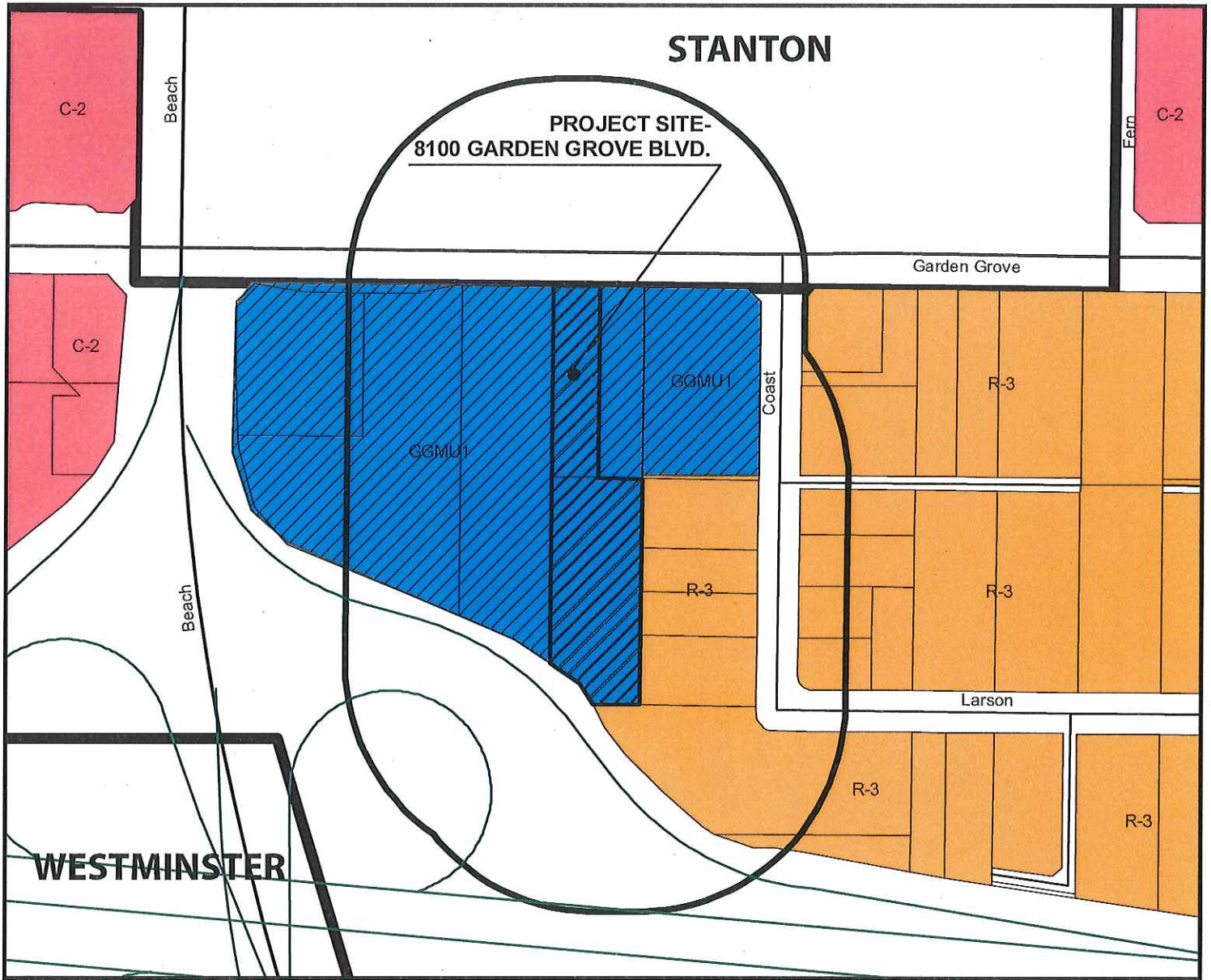

KARL HILL
Planning Services Manager


By: Chris Chung
Associate Planner




GARDEN GROVE

CONDITIONAL USE PERMIT NO. CUP-035-2015 CUP-151-05 REVOCATION



LEGEND

 PROJECT SITE - 8100 GARDEN GROVE BOULEVARD

 300 FEET RADIUS



0 125 250 500 750 Feet

NOTES

1. GENERAL PLAN:
RESIDENTIAL/COMMERCIAL MIXED USE 1

2. ZONE:
GGMU-1 (GARDEN GROVE BOULEVARD MIXED USE 1)

**CITY OF GARDEN GROVE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
GIS SYSTEM
MAY 2015**

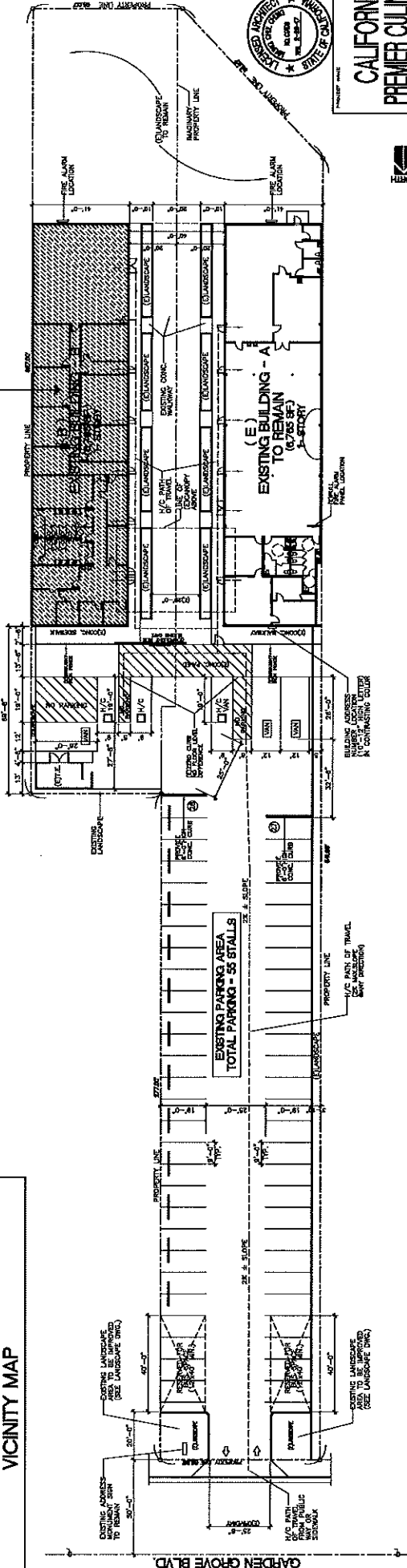
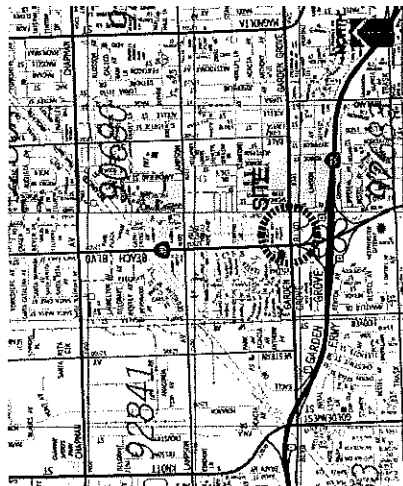
PROPOSED CHANGE OF USE FOR CALIFORNIA PREMIER CULINARY SCHOOL/GOSPEL GLOBAL UNIVERSITY

(FROM ADULT RELIGIOUS TRAINING CENTER INTO ADULT RELIGIOUS TRAINING CENTER AND CULINARY SCHOOL)

8100 GARDEN GROVE BLVD.
GARDEN GROVE CA 92844

PROPOSED PROJECT
LOCATION FOR
CHANGE OF USE
(HATCHED ONLY) 6765 SF.

VICINITY MAP



PROJECT INFORMATION:

- PROJECT NAME: PROPOSED CHANGE OF USE FOR GOSPEL GLOBAL UNIVERSITY
- PROJECT ADDRESS: 8100 GARDEN GROVE BLVD. GARDEN GROVE, CA 92844
- OWNER: GOSPEL GLOBAL UNIVERSITY
- LOT AREA: 10,400 SF.
- EXISTING BUILDING FLOOR AREA: 6,765 SF.
- PROPOSED AREA FOR CHANGE OF USE: 6,765 SF.
- EXISTING USE OF BUILDING: ADULT DAYCARE
- PROPOSED USE OF BUILDING: ADULT DAYCARE AND CULINARY SCHOOL
- PROPOSED AREA FOR CHANGE OF USE: 6,765 SF.

FIRE DEPT. NOTES:

- FIRE SPRINKLER: YES, THROUGHOUT THE BUILDING
- FIRE ALARM SYSTEM: YES, THROUGHOUT THE BUILDING
- ARCHITECT/APPLICANT: CMC ARCHITECTS AND ENGINEERS
- DATE: 11/15/2017
- TEL: (949) 308-1810
- CONTRACT: 17-001-010
- CONTRACT: 17-001-010
- CONTRACT: 17-001-010

SITE PLAN

17-001-010
A-10

NO.	REVISION	DATE	BY

CALIFORNIA PREMIER CULINARY SCHOOL/GOSPEL GLOBAL UNIVERSITY
8100 GARDEN GROVE BLVD
GARDEN GROVE, CA 92844

NO.	REVISION	DATE	BY

SITE PLAN

RESOLUTION NO. 5847-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-035-2015 AND THE REVOCATION OF CONDITIONAL USE PERMIT NO. CUP-151-05.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-035-2015 and the revocation of Conditional Use Permit No. CUP-151-05, for parcels of land located on the south side of Garden Grove Boulevard, east of Beach Boulevard, at 8100 Garden Grove Boulevard, Assessor's Parcel Nos. 096-282-05 and 09.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-035-2015 and the revocation of Conditional Use Permit No. CUP-151-05, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by David S. Kim.
2. The applicant is requesting Conditional Use Permit (CUP) approval to allow the operation of a new trade school, California Premier Culinary School, in conjunction with an existing religious trade school, Gospel Global University, in an existing 6,888 square foot one-story building. Also, a request to revoke Conditional Use Permit No. CUP-151-05, which previously allowed the operation of an adult day care facility, in the adjacent building located to the west of the subject building.
3. Pursuant to the California Environmental Quality Act ("CEQA"), the City of Garden Grove has determined that the proposed project is categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the CEQA Guidelines (14 Cal. Code Reg., Section 15301).
4. The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 1, and is zoned GGMU1 (Garden Grove Mixed Use). The property is a 1.37-acre site that is comprised of two (2) parcels held under common ownership, and developed with two single-story buildings.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.
6. Report submitted by City Staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on May 21, 2015, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of May 21, 2015; and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The subject property is located on the south side of Garden Grove Boulevard, east of the Gospel First Korean Baptist Church that is located on the northwest corner of Coast Street and Garden Grove Boulevard. The property is a 1.37-acre site that is comprised of two (2) parcels held under common ownership, and developed with two single-story buildings. The two (2) buildings form a cohesive development at the rear of the property with a large parking area located in the front property. Each building is 6,888 square feet in gross floor area, and faces the other across an open courtyard, which provides no vehicular access. At the rear of the property is an open space recreation area improved with grass.

The subject property is zoned GGMU1 (Garden Grove Mixed Use), and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 1. The site abuts a GGMU1 zoned property to the west, GGMU1 and R-3 (Multiple-Family Residential) zoned properties to the east, the Garden Grove SR-22 Freeway and an R-3 zoned property to the south, and commercially developed uses across Garden Grove Boulevard, to the north, which are located in the City of Stanton.

On January 6, 2005, the City approved Conditional Use Permit No. CUP-151-05 which allowed the operation of an adult day care facility, New Life Adult Day Health Care Center.

On April 22, 2010, the City approved Conditional Use Permit No. CUP-292-10, which allowed the operation of a new religious trade school on the site, Gospel Global University, along with the previously approved adult day care facility operation. The religious trade school operates in the building to the east (Building B), and the now closed adult day care facility operated in the building to the west (Building A). Each business had different operating hours that ensured that no parking issues would arise.

Due to a lack of funding, the adult day care facility, operating in Building A, has been closed since September 7, 2012, according to business license records, and thereby is no longer in operation. The applicant has requested Conditional Use Permit approval to operate a new culinary trade school in conjunction with the existing religious trade school, both of which will operate solely in Building B. As part of this request, and to facilitate the approval of the new culinary trade school CUP, the City has therefore requested that Conditional Use Permit No. CUP-151-05, which formerly allowed the operation of the adult day care facility, be revoked based on the adult day care facility having ceased its operation. The purpose for removing the CUP is to have any prospective business occupying this building to be

fully subject to Staff review in order to lessen the possibility of parking impacts to the overall site.

FINDINGS AND REASONS:

All findings for approval of the proposed Conditional Use Permit required under Section 9.32.030.D.4 (Conditional Use Permit) of the Garden Grove Municipal Code can be made.

Conditional Use Permit:

1. The proposed use will be consistent with the City's adopted General Plan.

The property has a General Plan Land Use designation of Residential/Commercial Mixed Use 1, and is zoned GGMU1 (Garden Grove Mixed Use). Trade schools are conditionally permitted uses in the GGMU1 zone. The use is consistent with the General Plan provided that the operation of the facility complies with the conditions of approval.

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The conditions of approval will minimize potential impacts to the adjoining area. Provided the conditions of approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. The trade schools will provide additional educational career opportunities to the community.

Additionally, the use will not unreasonably interfere with the use, enjoyment or valuation of the property of other persons located within the vicinity of the site, provided the conditions of approval are adhered to for the life of the project.

Finally, the use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. The conditions of approval will ensure the public health, safety, and welfare. Therefore the project will not create a menace to the public health, safety, or welfare.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

Provided the proposed use and existing use operate per the Conditions of Approval under Conditional Use Permit No. CUP-035-2015, then the site, with the existing site improvements, is of adequate size to accommodate the proposed uses within the surrounding area.

4. That the proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The site is adequately served by Garden Grove Boulevard with an accessible main driveway providing both ingress and egress. The site is also adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities.

FINDINGS AND REASONS:

Revocation of Conditional Use Permit No. CUP-151-05:

Garden Grove Municipal Code Section 9.32.030.D.10.a authorizes the City Council, the hearing body or the City Manager to initiate revocation proceedings for conditional use permits.

Pursuant to Garden Grove Municipal Code Section 9.32.030.D.10.b, the Planning Commission may revoke a conditional use permit if any one of the following findings is made:

1. That the conditional use permit approval was obtained by fraud;
2. That the approved use has ceased to exist or has been suspended for one year or a lesser time as established by land use ordinance;
3. That the approved use is being, or recently has been, exercised contrary to the terms or conditions of the conditional use permit approval, or in violation of any statute, ordinance, or regulation.
4. That the approved use was so exercised as to be detrimental to the public safety or so as to constitute a public nuisance.

Pursuant to Garden Grove Municipal Code Section 9.32.030.D.10.b, the Planning Commission hereby makes the following finding in support of the revocation of Conditional Use Permit No. CUP-151-05. The following finding constitutes a ground for revocation:

That the approved use has ceased to exist for more than two (2) years, and thereby satisfies finding number two (2), above, for revoking CUP-151-05.

The approved use of the adult day care facility, approved under Conditional Use Permit No. CUP-151-05, has been closed since September 7, 2012, according to business license records, and thereby is no longer in operation. The adult day care facility previously occupied Building A. Conditions of approval for Conditional Use Permit No. CUP-035-2015, stipulate that no use will be permitted in Building A. The purpose for removing the CUP is to have any prospective business occupying Building A to be fully subject to Staff review in order to lessen the possibility of parking impacts to the overall site. This will ensure that sufficient parking is provided to accommodate the culinary trade school and the religious trade school. Should the applicant propose a new use to occupy Building A in the future, the parking situation, and any other applicable Code provisions, will be reviewed and addressed in a manner meeting the requirements of the Municipal Code.

INCORPORATION OF FACTS AND REASONS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Conditional Use Permit (CUP-035-2015) does possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following Conditions of Approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-035-2015.
3. Conditional Use Permit No. CUP-151-05 is hereby revoked. Before any future use of Building A may be established, parking requirements, and any other applicable Code provisions, shall be met in accordance with the Garden Grove Municipal Code.

EXHIBIT "A"

Conditional Use Permit No. CUP-035-2015

8100 Garden Grove Boulevard

CONDITIONS OF APPROVAL

General Conditions

1. Each owner of the property shall execute, and the applicant shall record, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, on the property within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to the project applicant, the owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Planning Commission, except as otherwise provided herein.
3. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. Modifications, which do not change the intent of the project, may be approved by the Community Development Director.
4. If major modifications are made to the approved floor plan, site plan, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Public Works Water Services Division

6. Commercial food use of any type requires the installation of an approved grease interceptor, according to Garden Grove Sanitary District's Ordinance No. 6 (Fats, Oil and Grease Control Regulations Applicable to Food Service

Establishments). In the event that an approved grease interceptor is not already installed, a properly sized grease interceptor shall be installed on the sewer lateral and be maintained by the property owner. There shall be a separate sanitary waste line that will connect to the sewer lateral downstream of the grease interceptor. All other waste lines shall be drained through the grease interceptor. Grease interceptor shall be located outside of the building and accessible for routine maintenance. Owner shall maintain comprehensive grease interceptor maintenance records and shall make them available to the City of Garden Grove upon demand.

7. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Any existing units are to be removed.
8. Reduced pressure principle devices (RPPD) are required on domestic supply line, irrigation, and on carbonation equipment.

Police Department

9. There shall be no gaming tables or gaming machines, as outlined in City Code Sections 8.20.010 and 8.20.050, on the premises at any time.
10. There shall be no customers or patrons in or about the premises when the establishment is closed.
11. In the event security problems occur, and at the request of the Police Department, the permittee, at his own expense, shall provide a California licensed, uniformed security guard(s) on the premises during such hours as requested by the Police Department.
12. Any violations or noncompliance with the conditions of approval may result in the issuance of an Administrative Citation up to \$1,000 pursuant to GGMC 1.22.010(a).

Community Development Department

13. The hours of operation for the culinary trade school shall be permitted from 10:00 a.m. to 6:30 p.m., Monday through Saturday. The hours of operation for the religious trade school shall be permitted from 7:00 p.m. to 10:00 p.m., Monday through Saturday. The City of Garden Grove reserves the right to reduce hours of operation, by order of the Chief of the Police

Department, in the event problems arise concerning the operation of this business.

14. There shall be a minimum of sixty-one (61) parking spaces provided on-site.
15. There are two (2) buildings, Building A and Building B, on the subject site as shown on the submitted plans for CUP-035-2015. Building A, located on the west side of the property, is not in use. Building B, located on the east side of the property, will be occupied by the religious trade school and the new culinary trade school. As part of the approval of CUP-035-2015, no use will be permitted in Building A. This will ensure that sufficient parking is provided to accommodate the culinary trade school and the religious trade school. Should the applicant propose a new use to occupy Building A in the future, the parking situation, and any other applicable Code provisions, will be reviewed and addressed in a manner meeting the requirements of the Municipal Code.
16. In the event the site cannot accommodate the parking demand for the culinary trade school and/or the religious trade school, at any given time, which causes a nuisance, hindrance, and/or problem with both on-site and/or off-site parking and circulation, the business owner/property owner shall devise and implement a plan to relieve the situation. The business owner/property owner shall submit a plan to manage parking issues for review and approval by the Community Development Department. The plan may include, but not be limited to: reducing the hours of operation; staggering class times; instituting an off-site parking arrangement; having on-site parking control personnel; and/or other alternatives that may be deemed applicable to the situation. If the City deems such action is necessary to address parking and circulation problems, such action shall be required within 30 days of written notice. Failure to take appropriate action may result in the City restricting the overall use of the facility or revoking Conditional Use Permit No. CUP-035-2015.
17. The culinary trade school and the religious trade school shall only provide courses related to culinary arts and religious training, respectively. There shall be no additional uses, activities, or changes in the operation, without first obtaining approval by the City through the appropriate process.
18. The applicant/property owner shall be responsible for providing adequate lighting of the parking area in compliance with the City regulations. Lighting in the parking area shall be directed, positioned, or shielded in such a manner as to not unreasonably illuminate adjacent properties.

19. All activities associated with the culinary trade school and the religious trade school shall be conducted within the fully enclosed building.
20. No outside storage or displays shall be permitted at any time.
21. A prominent, permanent sign stating "NO LOITERING IS ALLOWED ON OR IN FRONT OF THE PREMISES" shall be posted in a place that is clearly visible to patrons of the licensee. The sign lettering shall be four (4) to six (6) inches high with black letters on a white background. The sign shall be displayed near or at the entrance, and shall also be visible to the public.
22. There shall be no uses or activities permitted of an adult-oriented nature as outlined in City Code Section 9.16.020.070.
23. There shall be no deliveries to or from the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.
24. All rear doors shall be kept closed at all times, except to permit employee ingress and egress, and in emergencies.
25. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
26. All trash bins shall be kept inside the trash enclosure, and gates closed at all times, except during disposal and pick-up. Trash pick-up shall be at least once per week. However, if additional pick-ups are needed to accommodate the uses on the site, the property owner shall increase the number of pick-ups as required.
27. Graffiti shall be removed from the premises, and all parking lots under the control of the licensee and/or the property owner, within 120 hours upon notification or application.
28. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
29. No roof-mounted mechanical equipment, including exhaust vents, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community Development Department,

Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.

30. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community Development Department, Planning Division. No advertising material shall be placed thereon.
31. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
32. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear advertising or signs of any sort. No signs advertising alcoholic beverages shall be placed on the windows. Any opaque material applied to the store front, such as on a window, shall count toward the maximum window coverage area.
33. Any modifications to existing signs or the installation of new signs shall require approval by the Community Development Department, Planning Services Division prior to issuance of a building permit.
34. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning CUP-035-2015. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City, including, but not limited to, any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.
35. A copy of the decision approving Conditional Use Permit No. CUP-035-2015 shall be kept on the premises at all times.

Conditional Use Permit No. CUP-035-2015
Conditions of Approval

36. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-035-2015, and his/her agreement with all conditions of the approval.
37. Any Conditional Use Permit previously governing this tenant space (CUP-292-10) shall become null and void, and superseded in its entirety, by the approval of Conditional Use Permit No. CUP-035-2015. Further, Conditional Use Permit No. CUP-151-05, which previously allowed the operation of the adult day care facility in Building A, is hereby revoked.
38. The applicant is advised that if the use of the establishment ceases to operate for more than 90 days, then the existing Conditional Use Permit will become null and void and the new applicant shall be required to apply for a new Conditional Use Permit subject to the approval by the Community Development Department, Planning Services Division.
39. The Conditional Use Permit shall be reviewed within one year from the date of this approval, and every three (3) years thereafter, in order to determine if the business is operating in compliance.