



## AGENDA

### ZONING ADMINISTRATOR MEETING

Garden Grove Community Meeting Center  
11300 Stanford Avenue

Thursday, January 26, 2023

9:00 a.m.

**Members of the public who wish to comment on matters before the Zoning Administrator, in lieu of doing so in person, may submit comments by emailing [public-comment@ggcity.org](mailto:public-comment@ggcity.org) no later than 3:00 p.m. the day prior to the meeting. The comments will be provided to the Zoning Administrator as part of the meeting record.**

**COVID-19: Masks are not required, however, the public is encouraged to wear masks in City facilities. Please do not attend this meeting if you have had direct contact with someone who has tested positive for COVID-19, or if you are experiencing symptoms such as coughing, sneezing, fever, difficulty breathing or other flu-like symptoms.**

Members of the public desiring to speak on any item of public interest, including any item on the agenda except public hearings, must do so during Comments by the Public. Each speaker shall be limited to three (3) minutes. Members of the public wishing to address public hearing items shall do so at the time of the public hearing.

Meeting Assistance: Any person requiring auxiliary aids and services, due to a disability, should contact the Department of Community & Economic Development at (714) 741-5312 or email [planning@ggcity.org](mailto:planning@ggcity.org) 72 hours prior to the meeting to arrange for special accommodations. (Government Code §5494.3.2).

All revised or additional documents and writings related to any items on the agenda, which are distributed to the Zoning Administrator within 72 hours of a meeting, shall be available for public inspection (1) at the Planning Services Division during normal business hours; and (2) at the Community Meeting Center at the time of the meeting.

Agenda item descriptions are intended to give a brief, general description of the item to advise the public of the item's general nature. The Zoning Administrator may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

1. PUBLIC HEARING ITEM(S):

a. [CONDITIONAL USE PERMIT NO. CUP-232-2023](#)

APPLICANT: Toby Nguyen

LOCATION: 8762 Garden Grove Boulevard #102

REQUEST: Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children, aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void. The site is in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 - Existing Facilities - of the State CEQA Guidelines.

b. [CONDITIONAL USE PERMIT NO. CUP-234-2023](#)

APPLICANT: Kyunghee Choi Park  
LOCATION: 9836 Garden Grove Boulevard

REQUEST: Conditional Use Permit approval to operate a new cosmetology vocational trade school in an existing 3,081 square foot commercial tenant space. The school will be limited to a maximum of 36 students and three instructors at any one time. The site is in the GGMU-3 (Garden Grove Boulevard Mixed Use 3) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 - Existing Facilities - of the State CEQA Guidelines.

2. [COMMENTS BY THE PUBLIC](#)

3. [ADJOURNMENT](#)

GARDEN GROVE ZONING ADMINISTRATOR MEETING  
Garden Grove Community Meeting Center  
11300 Stanford Avenue, Garden Grove, CA 92840

Meeting Minutes  
Thursday, November 10, 2022

CALL TO ORDER: 9:00 a.m.

PUBLIC HEARING – CONDITIONAL USE PERMIT NO. CUP-229-2022

Applicant: Jose Estrada  
Location: 12582 Valley View Street  
Date: November 10, 2022

Request: Conditional Use Permit approval to allow a new restaurant, Estrada's Café, to operate with a new original State Alcoholic Beverage Control (ABC) Type "41" (On-Sale, Beer and Wine, Public Eating Place) License within an existing vacant restaurant tenant space. Upon approval and exercising of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-179-06, shall be revoked and become null and void. The site is in the PUD-102-76 (Planned Unit Development) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 – Existing Facilities – of the State CEQA Guidelines.

Action: Public Hearing Held. Speaker(s): Ian Brown. One letter of support was submitted by Robbi Maurer.

Action: The Zoning Administrator adopted Decision No. 1832-22 with an amendment to add language (in bold) to Page 4 of the Decision:

Although the subject site is located in an area considered to be in a low-crime district and in an area with an over-concentration of on-sale ABC licenses, a finding for public convenience or necessity is warranted given the potential community benefit through the operation of the restaurant with an ABC Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The addition of the new ABC Type "41" License would provide and maintain an amenity that enhances the customer dining experience and maintains the intent of being a business serving the local community. The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. **Therefore, the City of Garden Grove hereby**

***determines and approves a Finding of Public Convenience or Necessity for Conditional Use Permit No. CUP-229-2022.***

PUBLIC HEARING – CONDITIONAL USE PERMIT NO. CUP-231-2022

Applicant: Jiyeon Kim  
Location: 9760 Garden Grove Boulevard  
Date: November 10, 2022

Request: Conditional Use Permit approval to operate an existing restaurant, Mochinut Chungchun Hotdog, with a new original State Alcoholic Beverage Control (ABC) Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The site is in the GGMU-3 (Garden Grove Boulevard Mixed Use 3) zone. In conjunction with the request, the Zoning Administrator will also consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 – Existing Facilities – of the State CEQA Guidelines.

Action: Public Hearing Held. Speaker(s): Kevin Franklin. One letter of opposition was submitted by Dr. M. Hernandez with concerns for overconcentration of licenses, crime, disturbances, drunkenness, and trash in the area due to alcohol.

Action: The Zoning Administrator adopted Decision No. 1833-22 with an amendment to add language (in bold) to Page 3/4 of the Decision:

Although the subject site is located in an area considered to be in a high-crime district and in an area with an over-concentration of on-sale ABC licenses, a finding for public convenience or necessity is warranted given the potential community benefit through the operation of the restaurant with an ABC Type "41" (On-Sale, Beer and Wine, Public Eating Place) License. The addition of the new ABC Type "41" License would provide and maintain an amenity that enhances the customer dining experience and maintains the intent of being a business serving the local community. The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. ***Therefore, the City of Garden Grove hereby determines and approves a Finding of Public***

Zoning Administrator Minutes

***Convenience or Necessity for Conditional Use  
Permit No. CUP-231-2022.***

ORAL COMMUNICATIONS – PUBLIC: None.

ADJOURNMENT: The Zoning Administrator adjourned the meeting at 9:12 a.m.

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Judith Moore, Recording Secretary

# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

<b>AGENDA ITEM NO.:</b> 1.a.	<b>SITE LOCATION:</b> South side of Garden Grove Boulevard, between Newland Street and Yockey Street, at 8762 Garden Grove Boulevard, Suite #102
<b>HEARING DATE:</b> January 26, 2023	<b>GENERAL PLAN:</b> Residential/Commercial Mixed Use 2
<b>CASE NO.:</b> Conditional Use Permit No. CUP-232-2023	<b>ZONE:</b> GGMU-2 (Garden Grove Boulevard Mixed Use 2)
<b>APPLICANT:</b> Toby Nguyen	<b>CEQA DETERMINATION:</b> Exempt
<b>PROPERTY OWNER:</b> Austin Park and Julianne Park	<b>APN:</b> 097-222-02

## **REQUEST:**

A request for Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void.

## **BACKGROUND:**

The subject site is currently improved with an existing two-story, multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the parcel located to the east. The tenant space was previously in operation as an afterschool program under Conditional Use Permit No. CUP-047-2015. According to business license records, the afterschool program ceased operation on September 2020.

In December of 2021, the owner/operator of Dragonfly Academy obtained business license approval for a change of ownership of the existing afterschool program business. During an inspection conducted by the Orange County Fire Authority (OCFA) as required by the State for proposed preschool/daycares, the inspector noted the business, which appeared to be operating as a preschool/daycare, was in direct violation of several Conditions of Approval under CUP-047-2015. The business

operations of a preschool/daycare significantly differ from an afterschool program, which include differences related to, but not limited to, State requirements for age of the children, hours of care and supervision, and the minimum requirements for indoor and outdoor activity areas. In an effort to comply with the State's outdoor activity area requirements, the business owner had constructed an outdoor playground to the southeast of the subject tenant space, within an existing parking lot and without City approval. OCFA contacted the City's Code Enforcement Division due to the lack of permit for the outdoor playground area, and various CUP violations. Therefore, the applicant is requesting a new Conditional Use Permit that would specifically allow the operation of a preschool/daycare with an outdoor playground area.

The subject site is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The subject shopping center abuts a GGMU-2 zoned property to the west improved with a vacant auto dealership, a GGMU-2 zoned property to the east improved with a multi-family development, R-3 (Multiple-Family Residential) zoned properties to the south, across an alley, improved with multi-family units, a Planned Unit Development No. PUD-104-80 zoned property also to the south improved with a multi-family development, and GGMU-2 zoned properties to the north across Garden Grove Boulevard improved with commercial buildings.

Dragonfly Academy classifies as a "child daycare center", a commercial type use, which the Municipal Code defines as "consistent with Health and Safety Code Section 1596.76, any child daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq. other than a family daycare home, and includes infant centers, preschools, extended daycare facilities, and school age child care centers, which provide care, protection and supervision to children, for periods of less than 24 hours per day". A "child day care center" use, which includes preschools, is a conditionally permitted use in the GGMU-2 zone.

### **DISCUSSION:**

According to the business plan, Dragonfly Academy is a preschool/daycare facility for children promoting physical, social, emotional, cognitive, and creative development for children ages 2 to 5 years old. The proposed preschool/daycare will be the applicant's first location. Typical business activities of Dragonfly Academy include instruction of letters, colors, and numbers. In addition, free play time, "circle time" (also called group time, refers to a group of children sitting together participating in an activity involving everyone), crafts, paint, arts, puzzles, and motor skill exercises, are also part of the daily schedule. Breakfast, one (1) snack break, and lunch are prepared and served daily. For the majority of the day, children will spend their time within the indoor activity rooms (instruction areas), and will have two thirty (30) minute sessions of outdoor play time in the morning and afternoon.

The interior of the proposed 3,748 square foot preschool/daycare tenant space will consist of four (4) classrooms, an office, an employee room with a kitchen, restrooms, and a storage room. At the rear of the tenant space, the existing unpermitted outdoor playground, which is located within an area previously improved with parking spaces, will be reduced in size to approximately 2,025 square feet, and five (5) previously existing parking stalls will be re-striped. The playground will be secured with a 5'-0" tall wrought iron fence that will separate the outdoor playground area from the rest of the parking lot. The outdoor space will contain age-appropriate play structures and equipment.

The proposed hours of operation are from 7:30 a.m. to 6:00 p.m. Drop-off is expected between 7:30 a.m. and 8:30 a.m., which allows a one-hour window. Breakfast is served at 8:30 a.m., to allow for instruction and other activities to begin at 9:00 a.m. Pick-up is between 5:30 p.m. and 6:00 p.m. Conditions of approval will required that the applicant provide a drop-off and pick-up plan to prevent any impacts to the shopping center that the surrounding area.

State laws, administered and regulated by the California Department of Social Services (CDSS), applicable to preschools/daycares require a minimum amount of indoor and outdoor activity space, which is used to determine the maximum children capacity. For outdoor activity space, a minimum of 75 square foot per child is required. For indoor activity space, a minimum of 35 square feet per child is required. Dragonfly Academy has proposed to operate with a maximum capacity of 54 children. The number of employees is directly related to the number of children enrolled in the facility. Therefore, per State law, the preschool/daycare will operate with a minimum of six (6) employees.

Based on the proposed number of enrolled children (54), the minimum amount of required indoor activity space (35 square feet per child) is 1,890 square feet and the minimum amount of outdoor activity space (75 square feet per child) is 4,050 square feet. Dragonfly Academy will provide a total of 2,268 square feet of indoor activity space, exceeding the minimum required by CDSS. Dragonfly Academy will provide a total of 2,025 square feet of outdoor activity space, which is less than the minimum required. The applicant has coordinated with CDSS to obtain a waiver of the minimum outdoor activity space requirement. To allow the waiver, CDSS limits the total number of enrolled children to 54. Dragonfly Academy will establish a staggered schedule of outdoor play times for all classrooms to comply with this requirement. As part of the approval of Conditional Use Permit No. CUP-232-2023, a Condition of Approval (Condition No. 34) has been included to specify that the maximum enrollment capacity of 54 children, contemplated and approved under CUP-232-2023, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services for any indoor or outdoor activity space(s), including any other applicable requirements by CDSS, prior to commencement of operation of the preschool/daycare. Provided the applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the preschool/daycare facility, the facility is permitted a maximum enrollment capacity



of 54 children, as proposed. In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of 54 children, the applicant shall limit the maximum number of children for the preschool/daycare, as required and stipulated by the approved state license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of 54 children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community and Economic Development Department and approved by the appropriate hearing body.

For preschool/daycare uses, the Municipal Code requires a minimum of one (1) parking space per provider and staff member plus one (1) parking space for every six (6) children. Based on the proposed capacity of 54 children and six (6) providers/staff members, the proposed preschool/daycare requires a minimum of 15 parking spaces. A parking study, prepared by a licensed traffic engineering consultant firm (Infrastructure Group, Inc.), has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division. The parking study analyzed all on-site parking, and was performed during regular business hours while all businesses were open. Per Section 9.18.140.060, Joint Use and Parking Management, of Title 9 of the Municipal Code, a parking management plan is required when the number of parking spaces required is proposed to be reduced, but not more than 25%. A peak-demand calculation must also be included and must demonstrate a 10% increase in the minimum number of spaces above the peak demand calculation to allow for future changes in the types of uses proposed in the original development plan. The existing parking supply in the shopping center consists of 99 parking spaces. Subsequent to the proposed reduction in size of the existing unpermitted playground area (down to 2,025 square feet), and re-striping of previously existing parking spaces, the subject shopping center will establish a new total of 103 parking spaces, which is a 25% deficiency. Inclusive of the proposed preschool/daycare, the total number of parking spaces required by Code for the shopping center is 137 parking spaces minimum.

The parking analysis performed indicates that there is a peak demand of 37 parking spaces at 5:15 p.m. on a weekday, which would be the busiest day of the week since various tenants are closed on the weekends. Given the peak demand of 37 parking spaces, there is an anticipated surplus of 66 parking spaces (based on 103 available parking spaces).

The parking management plan submitted, which includes the parking demand of the proposed preschool/daycare, shows a peak demand of 52 parking spaces, including a 10% increase for future changes in the types of uses in the center. The analysis indicates a surplus of 51 parking spaces. Therefore, the parking study concludes there is sufficient parking in the shopping center to facilitate the establishment of the

CASE NO. CUP-232-2023

proposed preschool/daycare, with no negative impacts anticipated to current or future parking operations of the shopping center.

The Community and Economic Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated.

CEQA:

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301). The subject request for the proposed preschool/daycare does not physically expand or intensify the existing building, besides a negligible change to convert a portion of the existing parking lot area to an outdoor playground area for the preschool/daycare. The preschool/daycare facility is a conditionally permitted use in the subject zone. Upon approval and exercise of the CUP, the proposed business would be in compliance with all applicable requirements of the Municipal Code. Therefore, the proposed project is exempt from CEQA.

**RECOMMENDATION:**

Staff recommends that the Zoning Administrator take the following action:

1. Adopt Decision No. 1834-23 approving Conditional Use Permit No. CUP-232-2023, subject to the recommended Conditions of Approval.



Maria Parra  
Planning Services Manager



Mary Martinez  
Associate Planner

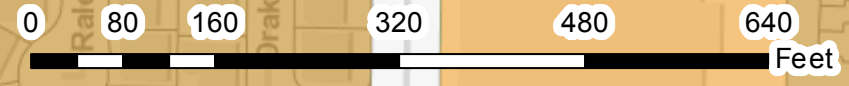
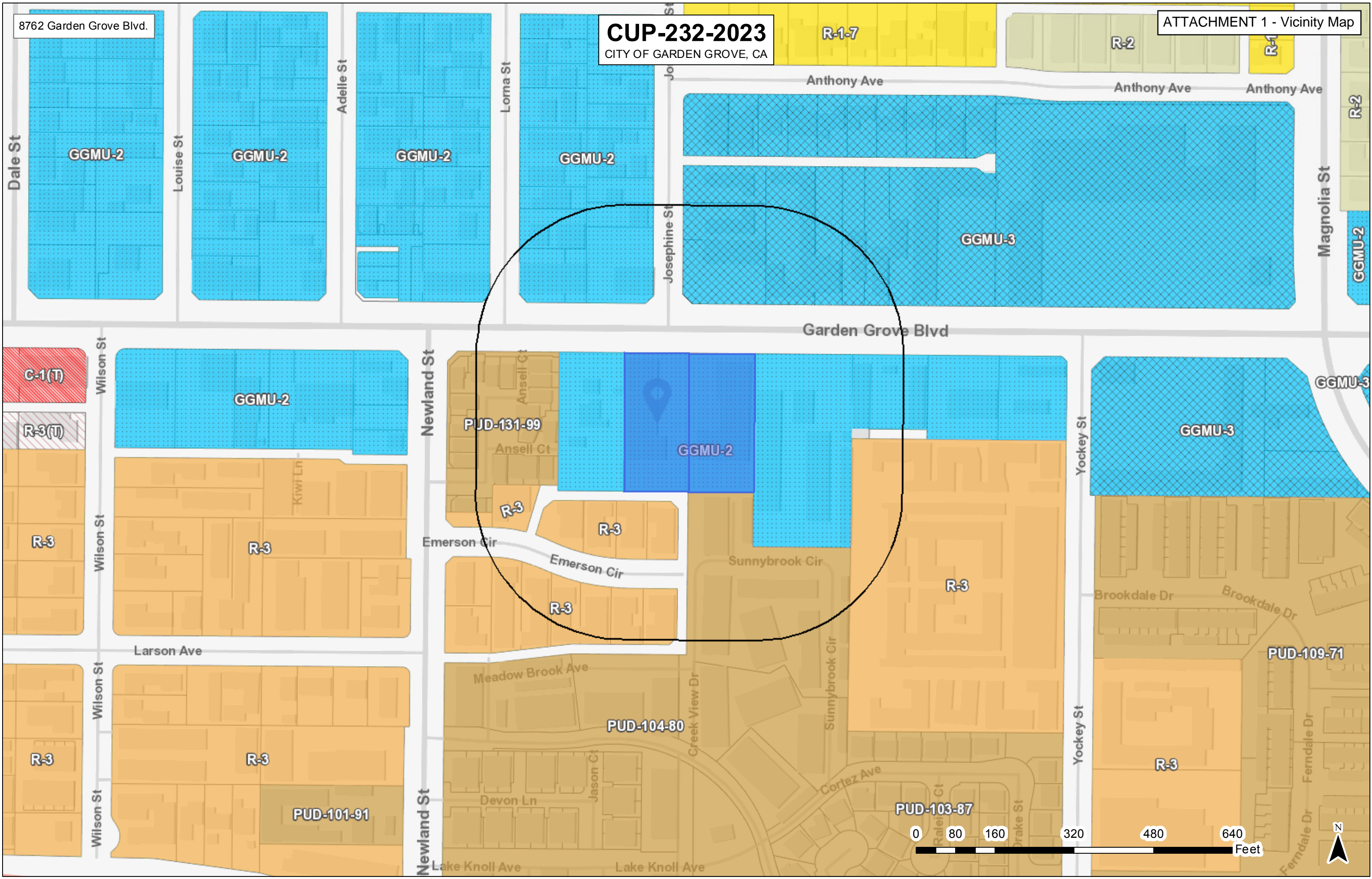
[Attachment 1:](#)      [Vicinity Map](#)  
[Attachment 2:](#)      [Plans](#)

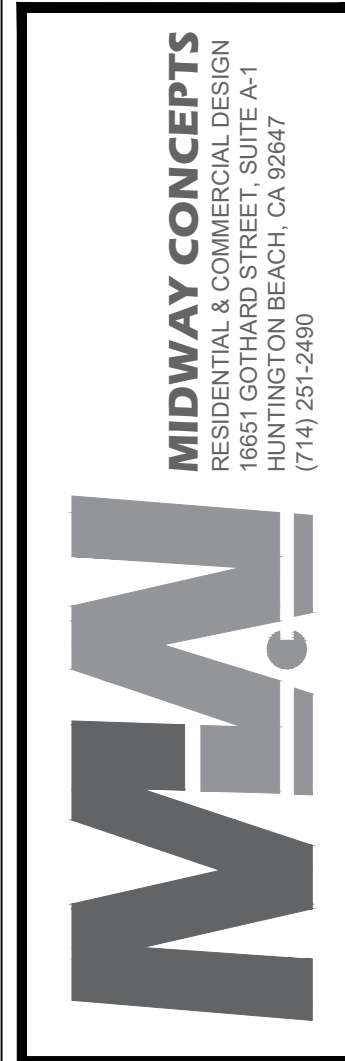
8762 Garden Grove Blvd.

# CUP-232-2023

CITY OF GARDEN GROVE, CA

ATTACHMENT 1 - Vicinity Map

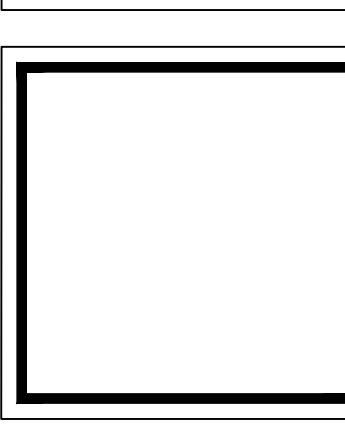




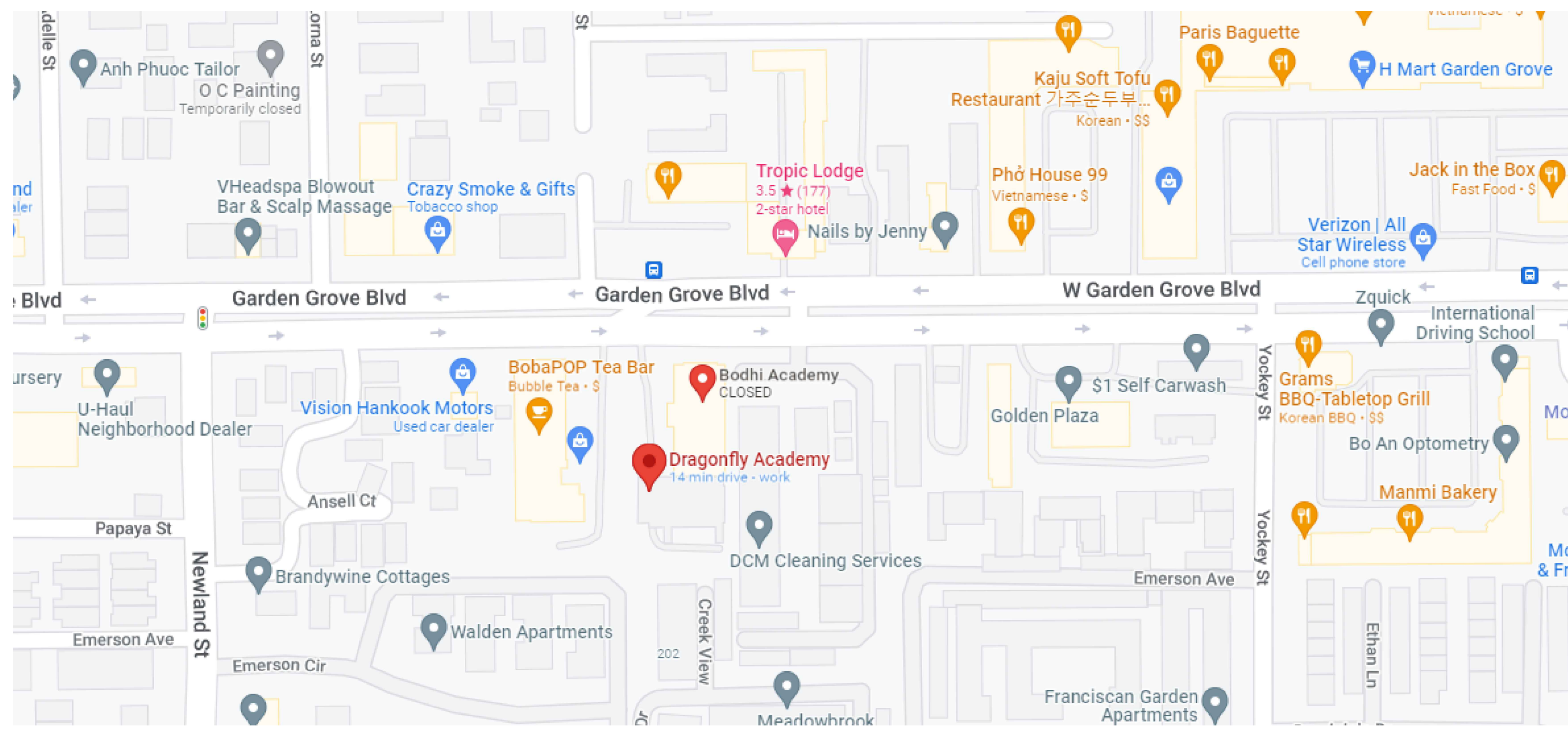
REV.	DESCRIPTION	DATE

PROJECT: DRAGONFLY ACADEMY  
8762 GARDEN GROVE BLVD. #102  
GARDEN GROVE, CA 92844

SHEET TITLE: COVER SHEET



DESIGNER
SIGNATURE
CONSULTANT
DATE
10-26-20
JOB NO.
SHEET
CS
OF X SHEETS



VICINITY MAP

# DRAGONFLY ACADEMY

## 8762 GARDEN GROVE BLVD. #102

### GARDEN GROVE, CA 92844

PROJECT INFO

<p>CODE: (2019 CBC) 2019 CBC (California Building Code) 2019 CMC (California Mechanical code) 2019 CPC (California Plumbing Code) 2019 CEC (California Electrical Code)</p>	<p>- CHANGE OF USE FROM "B" OCCUPANCY TO "E" OCCUPANCY AS A DAYCARE FACILITY</p> <p>- NEW PLAYGROUND 2,025 SQ FT</p> <p>-RE-STRIPE FRONT AND REAR PARKING SPACES</p>	<p>ARCHITECTURAL</p> <p>CS COVER SHEET A1 SITE PLAN A2 PROPOSED FLOOR PLAN A3 PLAYGROUND PLAN</p>
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<b>BUILDING CODES</b>	<b>4</b>	<b>SCOPE OF WORK</b>	<b>2</b>
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		<p>EXISTING TWO STORY CONSTRUCTION TYPE: VA LOT SIZE: 37,026 SF LOT :XX ASSESSOR # : XXX TRACT : ZONING:</p>	
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<b>DESCRIPTION</b>	<b>5</b>	<b>DESCRIPTION</b>	<b>3</b>
TENANT: DRAGONFLY ACADEMY	714-606-9913	DESIGNER: TOBY NGUYEN EARNEST LITTLE	714-251-2490 562-686-1007

<b>CONTACT INFO &amp; CONSULTANTS</b>	<b>6</b>	<b>SHEET INDEX</b>	<b>1</b>
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<p>A.C. ASPHALT CONCRETE A.C.T. ACOUSTICAL CEILING A.F.F. ABOVE FINISH FLOOR</p> <p>BD. BOARD BLDG. BUILDING BM. BEAM B/- BOTTOM OF</p> <p>CARP. CARPENTRY C.B.C. CALIFORNIA BUILDING CODE</p> <p>C.C. CENTER TO CENTER C.G. CORNER GUARD C.I. CAST IRON C.J. CONTROL JOINT CLG. CEILING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE C.T. CERAMIC TILE C.W. COLD WATER</p> <p>DIA. DIAMETER DIM. DIMENSION DN. DOWN D.S. DOWN SPOUT DWG. DRAWING D.T. DRIVE-THRU</p> <p>E.J. EXPANSION JOINT ELEC. ELECTRIC(AL) ELEV. ELEVATION EQ. EQUAL EQUIP. EQUIPMENT (E) EXISTING EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET FIXT. FIXTURE F.G. FINISH GRADE F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD F.P. FIRE PROOF F.S. FLOOR SINK FT. FOOT (FEET) FTG. FOOTING</p> <p>GA. GAUGE GALV. GALVANIZED GYP. GYPSUM BOARD G.C. GENERAL CONTRACTOR</p> <p>H.B. HOSE BIB H.M. HOLLOW METAL HORZ. HORIZONTAL HWDR. HARDWARE HT. HEIGHT HVAC HEATING VENTILATING AND COOLING H.W. HOT WATER I.D. INSIDE DIAMETER INT. INTERIOR</p> <p>J-BOX JUNCTION BOX JT. JOINT LAV. LAVATORY LTC. LIGHTING</p> <p>MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM M.O. MASONRY OPENING MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.A. NOT APPLICABLE NOT A PART NOT IN CONTRACT NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER O.F.D. OVER FLOW DRAIN O.H. OVER HEAD OOSP OUT OF SEQUENCE PARKING OVER</p> <p>PART. PARTITION PL. PLATE PROP. PROPERTY P-LAM. PLASTIC LAMINATE PLYWD. PLYWOOD PT. PAINT PR. PAIR P.O.C. POINT OF CONNECTION P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH</p> <p>QTY. QUANTITY</p> <p>R. RISER RAD. RADIUS R.C.P. REFLECTED CEILING PLAN R.D. ROOF DRAIN REF. REFERENCE</p> <p>R.I. ROUGH IN R.O. ROUGH OPENING RM. ROOM</p> <p>SCHED. SCHEDULE SHT. SHEET SIM. SIMILAR SPEC. SPECIFICATION SQ. SQUARE S.S. STAINLESS STEEL S.T.C. SOUND TRANSMISSION COEFFICIENT STL. STEEL STRUCT. STRUCTURAL SUSP. SUSPENDED S.V. SHEET VINYL</p> <p>T24 TITLE 24 T. TREAD TEMP. TEMPORARY T.J. TOOLED JOINT TYP. TYPICAL T/- TOP OF ...</p> <p>U.N.O. UNLESS NOTED OTHERWISE</p> <p>V. VENT V.C.T. VINYL COMPOSITION TILE VERT. VERTICAL V.I.F. VERIFY IN FIELD V.B. VINYL BASE</p> <p>W/ WITH W.C. WATER CLOSET WD. WOOD WH. WATER HEATER W.P. WATER PROOF W.I. WROUGHT IRON W.W.F. WELDED WIRE FABRIC</p>	<p><b>ABBREVIATIONS</b></p>	<b>8</b>
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**BUILDING DATA:**

EXISTING OCCUPANCY: B  
PROPOSED OCCUPANCY: E  
STORY OF BUILDING: TWO STORY (TENANT SPACE SINGLE STORY)  
USE: DAYCARE FACILITY  
CONSTRUCTION TYPE: V-A (SPRINKLERED)  
LOT SIZE: 37,026 SQ FT  
TOTAL BUILDING AREA: 17,211 SQ FT  
SPRINKLERS: YES  
FLOOR AREA: 3,748 SQ FT  
OCCUPANT LOAD: 70 OCCUPANTS  
54 STUDENTS MAXIMUM

TENANT  
DRAGONFLY ACADEMY  
714-606-9913  
8762 GARDEN GROVE BLVD. #102  
GARDEN GROVE, CA 92844

**LIFE SAFETY SYSTEM:**

EMERGENCY LIGHTING: YES NO  
EXIT SIGNS: X YES NO  
FIRE ALARM AND SMOKE DETECTION SYSTEM: X YES NO  
PANIC HARDWARE: X YES NO  
FIRE SPRINKLERS: X YES NO

**PARKING ANALYSIS:**

EXISTING STANDARD PARKING SPACES: 44 SPACES  
ACCESSIBLE PARKING SPACES PROVIDED: 2 SPACES  
TOTAL PARKING SPACES: 46 SPACES  
PARKING SPACES REQUIRED PER USE: 15 SPACES

**BUSINESS DESCRIPTION**

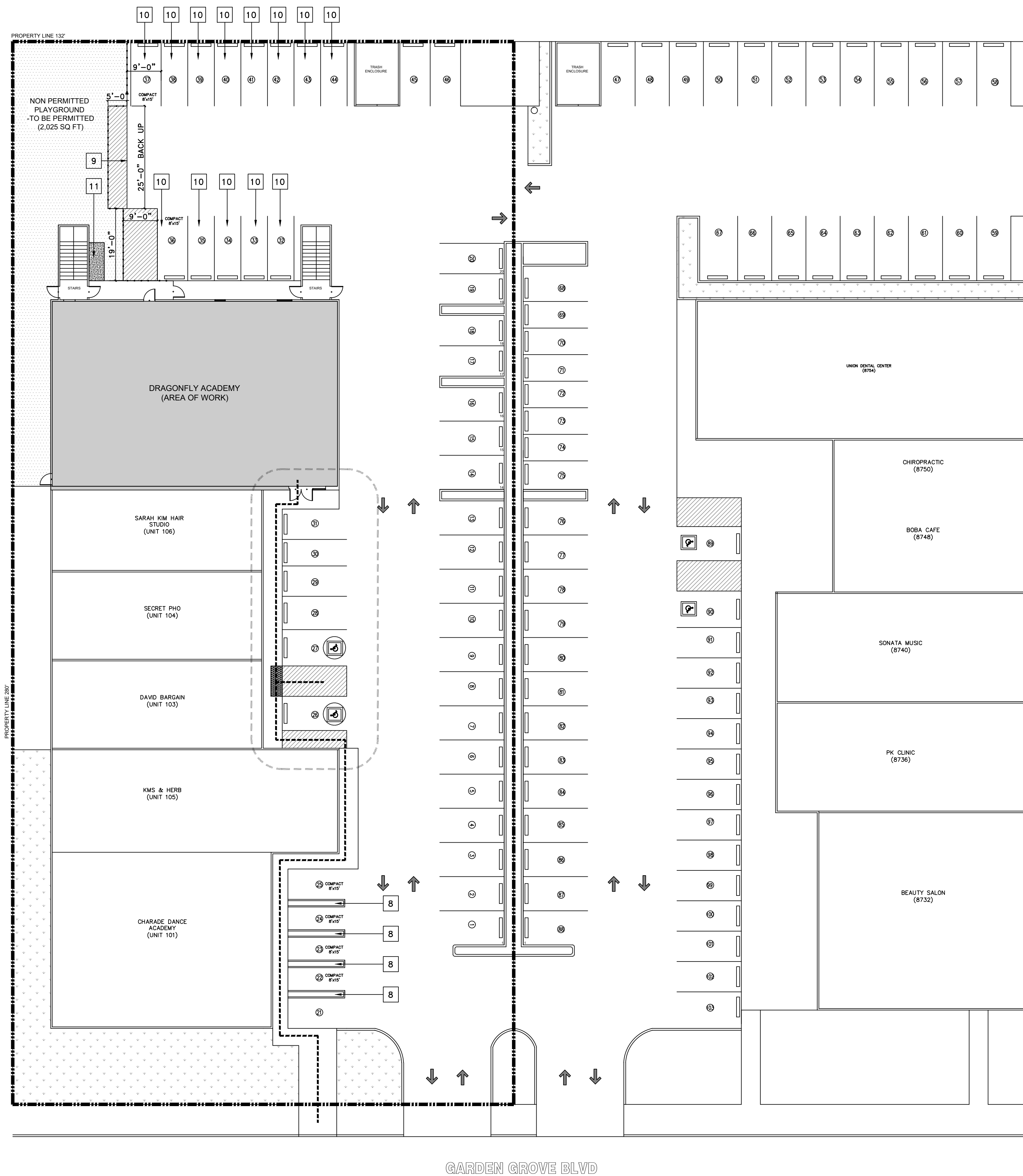
THIS SPACE WILL BE USED AS A DAYCARE FACILITY

<b>ABBREVIATIONS</b>	<b>8</b>
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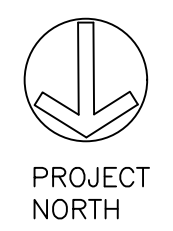
<b>PROJECT INFO</b>	<b>7</b>
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<b>CONTACT INFO &amp; CONSULTANTS</b>	<b>6</b>
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<b>SHEET INDEX</b>	<b>1</b>
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EXISTING OVER ALL SITE PLAN



SCALE: 1/32" = 1'-0"

NOTE: ALL SITE CONDITIONS SHOWN ARE EXISTING TO REMAIN EXCEPT THOSE NOTED IN THE KEYED NOTES BELOW.

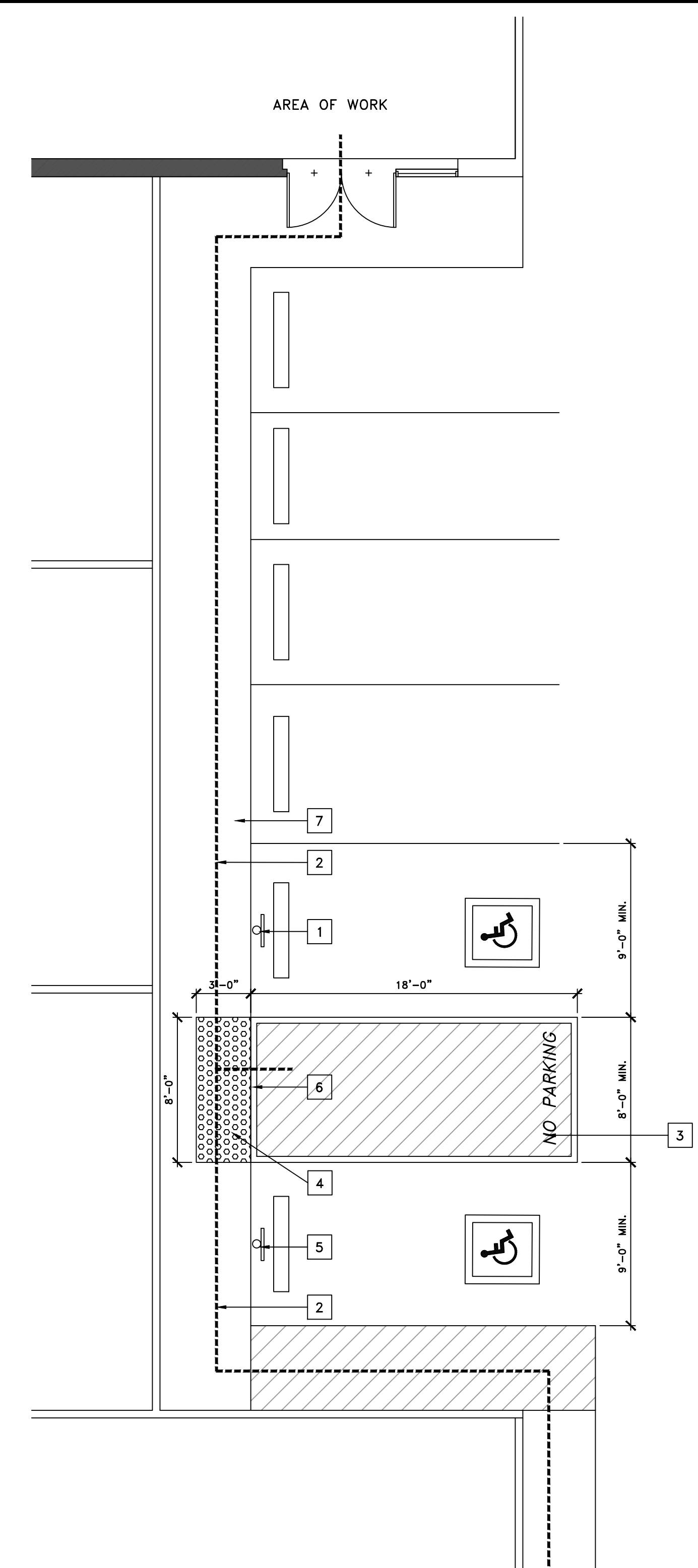
KEY NOTES SITE PLAN

MARK	
1	(E) ACCESSIBLE PARKING SIGN
2	(E) ACCESSIBLE PATH OF TRAVEL
3	(E) NO PARKING (ACCESS AISLE)
4	(E) TRUNCATED DOMES
5	(E) VAN ACCESSIBLE ONLY PARKING SIGN
6	(E) 0" CURB
7	(E) CONCRETE WALKWAY WITH 5% MAX RUNNING SLOPE
8	RESTRIPE PARKING LOT TO ACCOMMODATE COMPACT STALLS
9	RELOCATE EXISTING PLAYGROUND GATE
10	EXISTING PARKING STALLS TO BE RE-STRIPE IN PLACE
11	(N) CONCRETE WALKWAY @ 5% MAX SLOPE
12	
13	
14	
15	
16	
17	
18	
19	
20	

PARKING ANALYSIS

- ACCESSIBLE PATH OF TRAVEL MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% SLOPE IN THE DIRECTION OF TRAVEL. NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN.
- /// LOADING/UNLOADING AND ACCESSIBLE PEDESTRIAN WALKWAY (W/ 2% MAX. SLOPE) STRIPING

SYMBOLS LEGEND



PROPOSED ENLARGED SITE PLAN

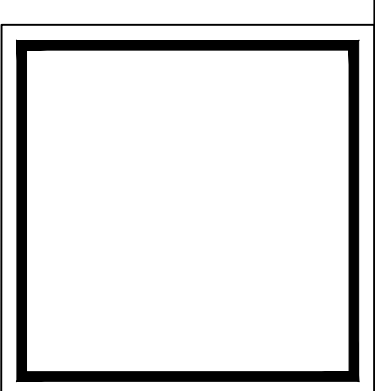
SCALE: 1/8" = 1'-0" 1

**MIDWAY CONCEPTS**  
RESIDENTIAL & COMMERCIAL DESIGN  
16651 GOTHARD STREET, SUITE A-1  
HUNTINGTON BEACH, CA 92647  
(714) 251-2490

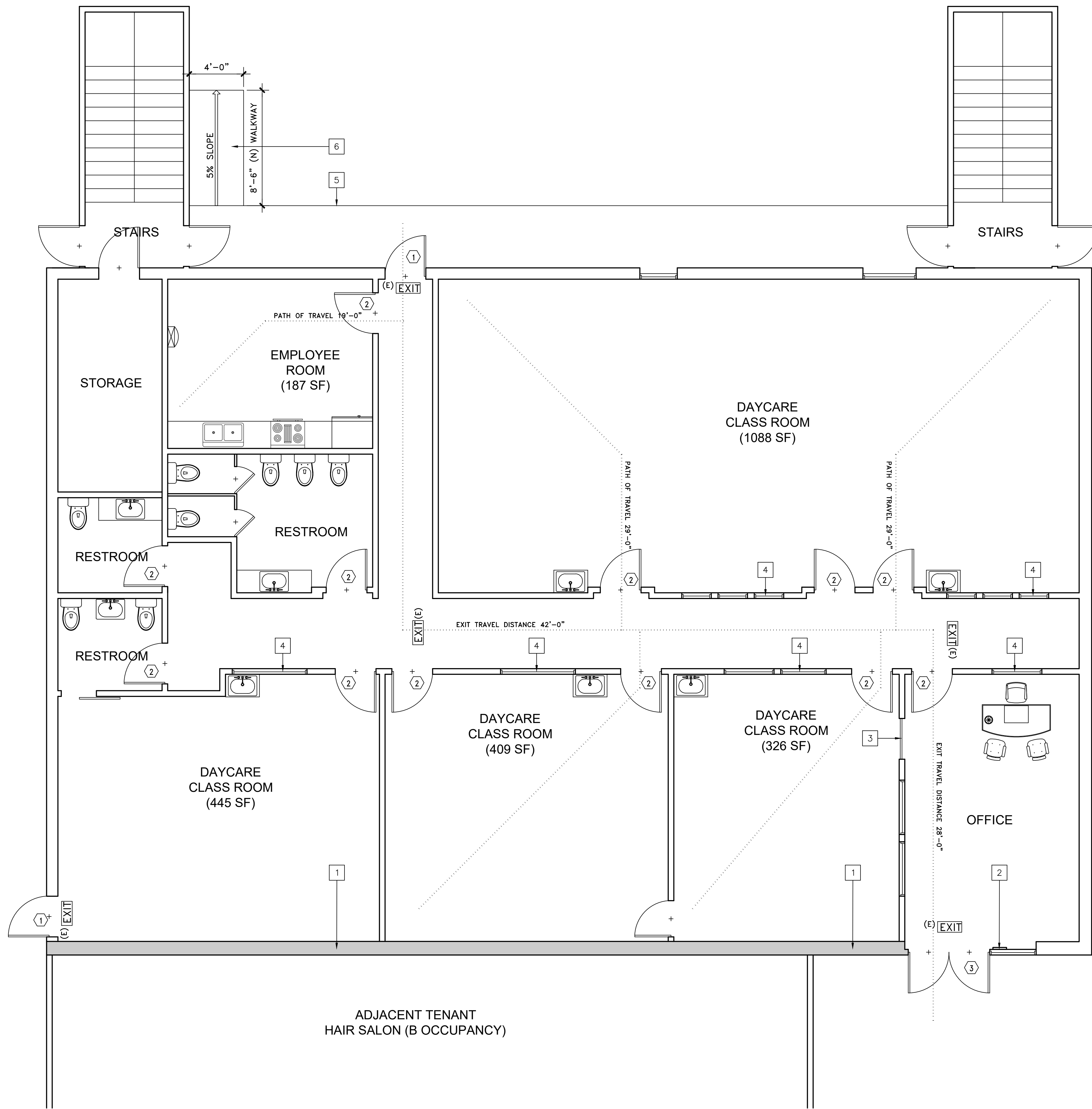
REV.	DESCRIPTION	DATE

PROJECT: DRAGONFLY ACADEMY  
8762 GARDEN GROVE BLVD. #102  
GARDEN GROVE, CA 92844

SHEET TITLE: **SITE PLAN**



DESIGNER: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
CONSULTANT: \_\_\_\_\_  
DATE: 10-26-20  
JOB NO.: \_\_\_\_\_  
SHEET: **A1**  
OF X SHEETS



2 PROPOSED FLOOR PLAN  
Scale: 1/8"=1'-0"

- 1 (E) CMU WALL ASSEMBLY (1 HR RATING)
- 2 (N) TACTILE EXIT SIGNAGE (DETAIL 1/A5)
- 3 (E) DOOR TO REMAIN LOCKED
- 4 (E) 1-1/2 HOUR RATED WINDOW; TYP.
- 5 (E) 5" CURB
- 6 (N) CONCRETE WALKWAY AT 5% MAX RUNNING SLOPE & 2% CROSS SLOPE
- 7

FLOOR PLAN KEYNOTES

PER CBC 1029.8  
TABLE 1014.3  
COMMON PATH OF TRAVEL W/ SPRINKLER SYSTEM  
OCCUPANCY >50 OCCUPANT LOAD  
E 75'  
TABLE 1016.2  
EXIT ACCESS TRAVEL DISTANCE W/ SPRINKLER SYSTEM  
OCCUPANCY E 250'  
MAX. TRAVEL OF DISTANCE: 250'

COMMON PATH OF TRAVEL

DAYCARE CLASSROOMS:	(1/35) 2,268 S.F.	65 OCCUPANTS (54 STUDENTS MAX. DUE TO PLAYGROUND (54 STUDENTS LIMIT DUE TO PLAYGROUND CAPACITY)
OFFICE:	(1/100) 259 S.F.	3 OCCUPANTS
EMPLOYEE ROOM:	(1/100) 170 S.F.	2 OCCUPANTS
TOTAL:		70 OCCUPANTS

MAXIMUM OCCUPANT LOAD = 70 PEOPLE

OCCUPANT LOAD SIGN  
LETTER SHALL BE OF A CONTRASTING COLOR FROM THE BACKGROUND SURFACE.  
LOCATE AS SPECIFIED ON PLANS - ADJACENT TO MAIN ENTRANCE REQUIREMENT.

OCCUPANT LOAD CALCULATIONS

DOOR #	MATERIAL	SIZE	N/E	TYPE	SPECIFICATION
1	STEEL	3'-0"x7'-0"x1 3/4"	EXISTING	SWING	(E) PUSH & PULL; W/ PANIC HARDWARE
2	WOOD	3'-0"x7'-0"x1 3/4"	EXISTING	SWING	(E) LEVER HANDLE; 20 MINUTE RATED
3	METAL/ GLASS	(2) 3'-0"x7'-0"x1 3/4"	EXISTING	SWING	(E) PUSH & PULL

- 1.) THE DOOR SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT TO EXCEED 5 LBS. (INTERIOR AND EXTERIOR DOORS.) AND 15 LBS (FIRE DOORS) IS APPLIED TO THE LATCH SIDE.
- 2.) DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 3.) IN A3, B,F,M AND S OCCUPANCIES, KEY LOCKING HARDWARE MAY BE USED AT THE MAIN ENTRY DOORS, PROVIDED A SIGN IN CONTRASTING LETTERS OF 1 INCH OR MORE IS PROVIDED AT THE DOOR STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"
- 4.) DOOR LANDINGS SHALL MEET THE CRITERIA FOR THRESHOLDS, SIZE, AND CLEARANCES SPECIFIED IN CBC 1010.1.5 THROUGH 1010.1.7

DOOR SCHEDULE

- (E) WALL TO REMAIN
- (E) CMU WALL FOR 1 HR FIRE RATING
- EXIT TRAVEL DISTANCE
- ..... COMMON PATH OF TRAVEL
- (N)(E) ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHTING HARDWIRED W/ 90 MIN. BACK UP BATTERY
- (N)(E) ILLUMINATED DIRECTIONAL EXIT SIGN HARDWIRED W/ 90 MIN. BACK UP BATTERY
- 25" THRESHOLD, NO MORE THAN 1/4" LOWER THAN THE THRESHOLD OF THE DOORWAY

SYMBOL LEGEND



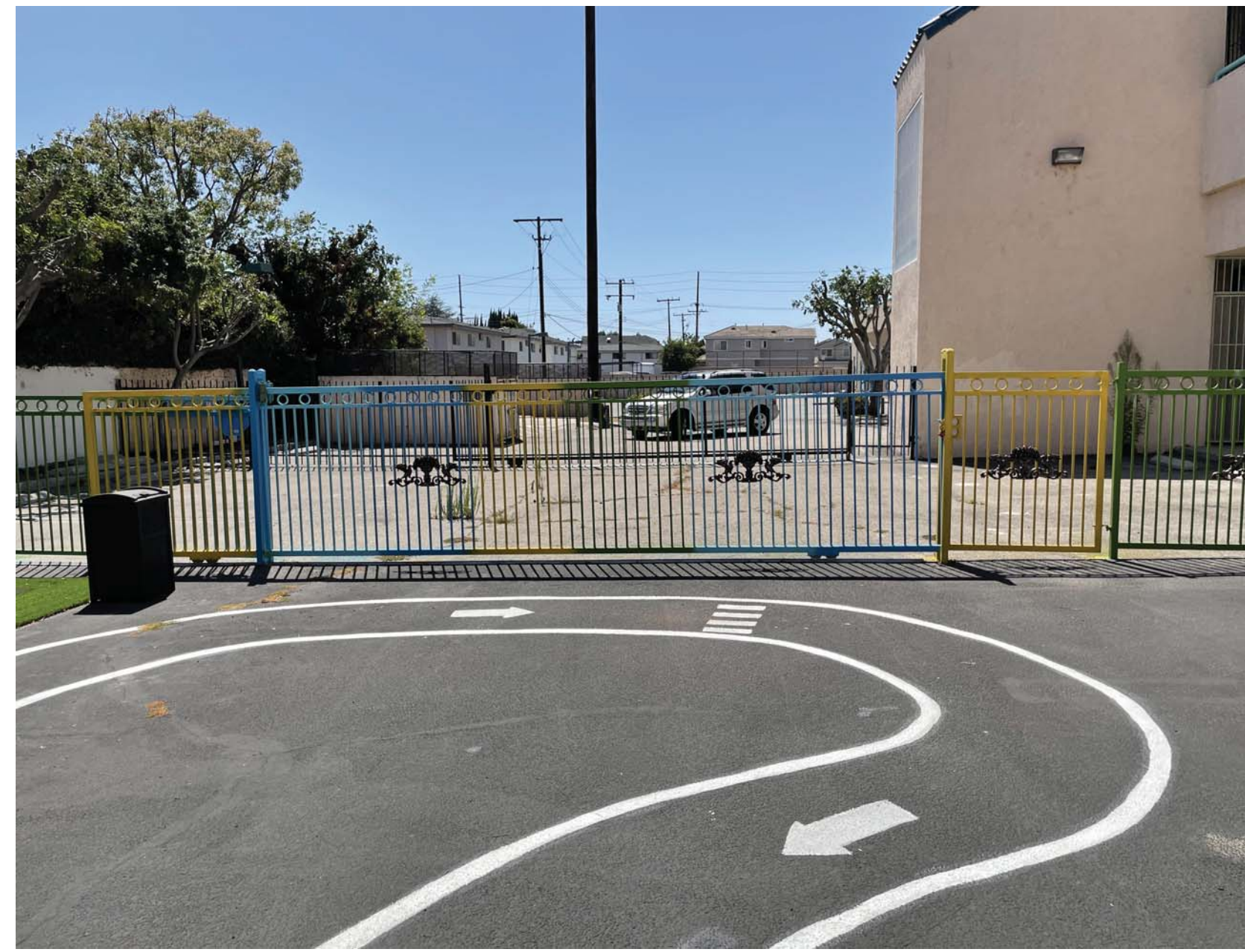
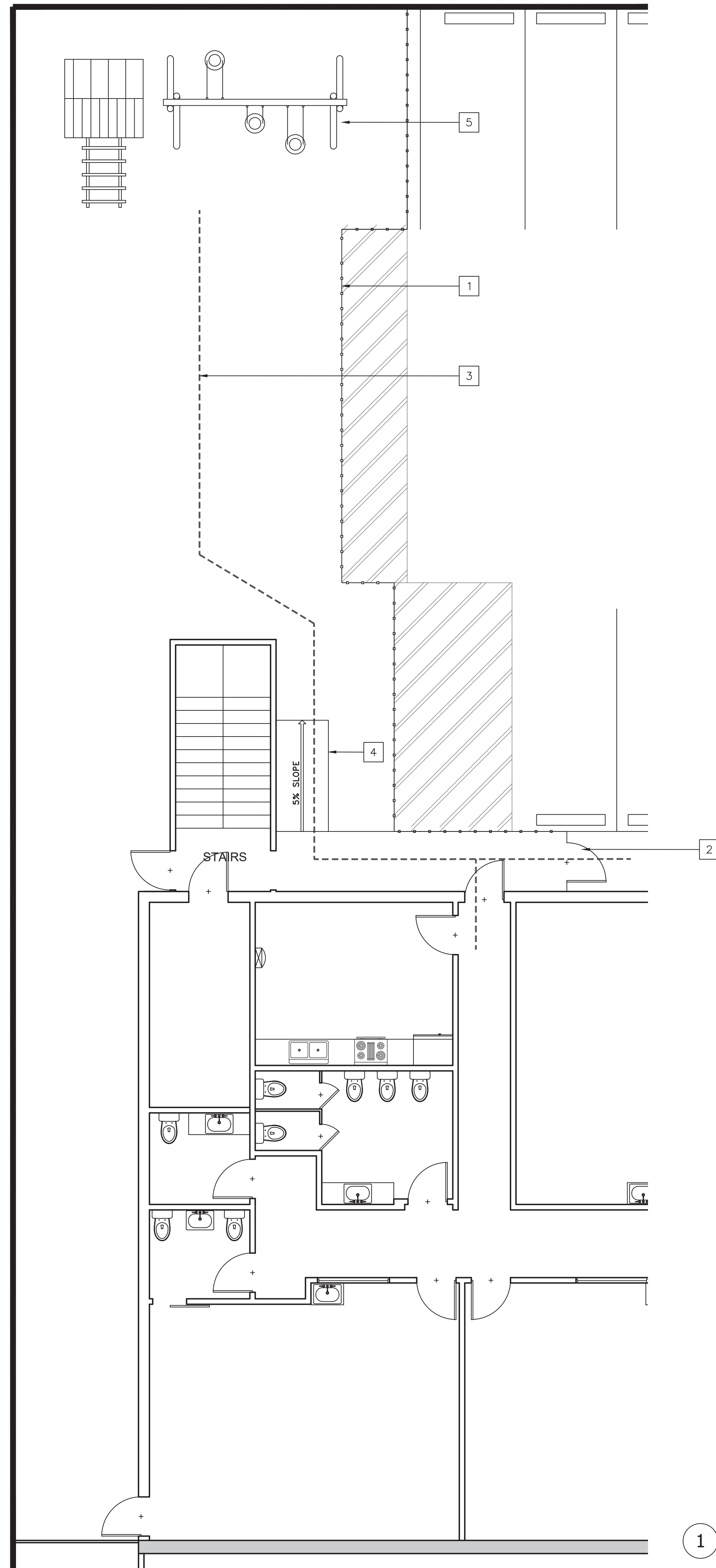
REV.	DESCRIPTION	DATE

PROJECT: DRAGONFLY ACADEMY  
8762 GARDEN GROVE BLVD. #102  
GARDEN GROVE, CA 92844

SHEET TITLE: FLOOR PLAN

DESIGNER: [Signature]

DATE: 10-26-20  
JOB NO.:  
SHEET: A2  
OF X SHEETS



**FEATURES**

- Clubhouse with Hardtop Roof
- Low Maintenance - No Staining or Painting Required
- Passes Playground Performance and Safety Standards
- Soft Rubber Grips on Swing Chains to Prevent Pinching or Snagging
- 9-ft. Wavy Slide
- Integrated Car Map on Tower Floor
- UV-Resistant - Retains Strength and Maintains Color
- Free-Standing – No Need for Cement
- 1 Trapeze Bar and 2 Swings
- All-Weather Resistant – Will Not Crack, Warp, Rot, or Splinter
- 2 Swings
- Two Sturdy 3-D Climbing Walls
- Hard Edges are Rounded or Covered with Plastic Caps
- No Lead-Based Material

**1** PLAYGROUND PLAN  
Scale: 3/16"=1'-0"

- LITTLE TIKES PICNIC TABLE
- LITTLE TIKES HIDE AND SEEK CLIMBER & SWING
- LITTLE TIKES HIDE & SLIDE
- LIFETIME ADVENTURE TOWER WITH SPIDER SWING
- LITTLE TIKES TREE HOUSE SWING SET
- KIDKRAFT FORESTVIEW WOODEN PLAYHOUSE
- HEART OF THE HOME KITCHEN PLAYSET
- STEP 2 SMALL KITCHEN PLAYSET
- LITTLE TIKES PRINCESS HORSE & CARRIAGE
- ANGEL MYRIDER MAXI 3 WHEELS TRIKES
- XJD 3 IN 1 TRICYCLES TODDLER

**PLAYGROUND EQUIPMENT LIST**

- 1 5'-0" MULTICOLOR WROUGHT IRON FENCE
- 2 5'-0"H x 3'-0"W EXIT GATE WITH PANIC HARDWARE
- 3 EXIT PATH OF TRAVEL
- 4 ACCESSIBLE WALKWAY @ 5% MAX RUNNING SLOPE
- 5 PLAYGROUND EQUIPMENT

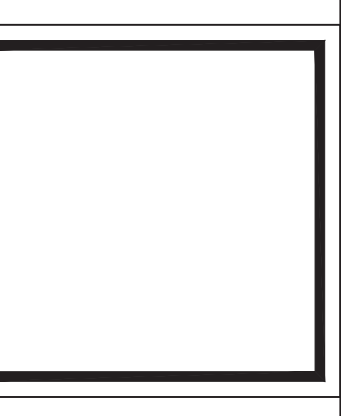
**KEYNOTES**



REV.	DESCRIPTION	DATE

PROJECT: DRAGONFLY ACADEMY  
8762 GARDEN GROVE BLVD. #102  
GARDEN GROVE, CA 92844

SHEET TITLE  
**PLAYGROUND**



DESIGNER  
SIGNATURE  
CONSULTANT  
DATE  
10-26-20  
JOB NO.  
SHEET  
**A3**  
OF X SHEETS

DECISION NO. 1834-23

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-232-2023, AND REVOKING CONDITIONAL USE PERMIT NO. CUP-047-2015, TO OPERATE A NEW PRESCHOOL/DAYCARE (CHILD DAYCARE CENTER), DRAGONFLY ACADEMY, LOCATED ON THE SOUTH SIDE OF GARDEN GROVE BOULEVARD, BETWEEN NEWLAND STREET AND YOCKEY STREET, AT 8762 GARDEN GROVE BOULEVARD, SUITE #102, ASSESSOR'S PARCEL NO. 097-222-02.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-232-2023, and revoke Conditional Use Permit No. CUP-047-2015, for the property located on the south side of Garden Grove Boulevard, between Newland Street and Yockey Street, at 8762 Garden Grove Boulevard, Suite #102, Assessor's Parcel No. 097-222-02.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-232-2023, the Zoning Administrator of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Toby Nguyen, with authorization from the property owner, Austin Park and Julianne Park.
2. A request for Conditional Use Permit approval to operate a new 3,748 square foot preschool/daycare (child daycare center), Dragonfly Academy, for 54 children aged 2 to 5 years old, along with a 2,025 square foot outdoor playground. Upon approval of the subject request, the Conditional Use Permit previously governing the tenant space, CUP-047-2015, which allowed an after-school program, shall be revoked and become null and void.
3. The Zoning Administrator hereby determines that this project is categorically exempt from review under the California Environmental Quality Act ("CEQA") pursuant to Article 19, Section 15301, Existing Facilities, of the CEQA Guidelines (14 Cal. Code Regs., Section 15301).
4. The property has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2 and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The subject site is currently improved with an existing multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the east side of the property.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.



6. Report submitted by City Staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on January 26, 2023, and interested persons were given an opportunity to be heard.
8. The Zoning Administrator gave due and careful consideration to the matter at its meeting on January 26, 2023, and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.30, are as follows:

FACTS:

The subject site is currently improved with an existing two-story, multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. Existing uses within the shopping center include a tea/boba shop, a beauty salon, medical offices, a dance academy, a nail salon, a restaurant, and other similar commercial uses. The specific tenant space under application is an approximately 3,748 square foot tenant space located in the south end of the building on the parcel located to the east. The tenant space was previously in operation as an afterschool program under Conditional Use Permit No. CUP-047-2015. According to business license records, the afterschool program ceased operation on September 2020.

The subject site is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The subject shopping center abuts a GGMU-2 zoned property to the west improved with a vacant auto dealership, a GGMU-2 zoned property to the east improved with a multi-family development, R-3 (Multiple-Family Residential) zoned properties to the south, across an alley, improved with multi-family units, a Planned Unit Development No. PUD-104-80 zoned property also to the south improved with a multi-family development, and GGMU-2 zoned properties to the north across Garden Grove Boulevard improved with commercial buildings.

According to the business plan, Dragonfly Academy is a preschool/daycare facility for children promoting physical, social, emotional, cognitive, and creative development for children ages 2 to 5 years old. The proposed preschool/daycare will be the applicant's first location. Typical business activities of Dragonfly Academy include instruction of letters, colors, and numbers. In addition, free play time, "circle time" (also called group time, refers to a group of children sitting together participating in an activity involving everyone), crafts, paint, arts, puzzles, and motor skill exercises, are also part of the daily schedule. Breakfast, one (1) snack break, and lunch are prepared and served daily. For the majority of the day, children will spend their time within the indoor activity rooms (instruction areas),

and will have two thirty (30) minute sessions of outdoor play time in the morning and afternoon.

The interior of the proposed 3,748 square foot preschool/daycare tenant space will consist of four (4) classrooms, an office, an employee room with a kitchen, restrooms, and a storage room. At the rear of the tenant space, the existing unpermitted outdoor playground, which is located within an area previously improved with parking spaces, will be reduced in size to approximately 2,025 square feet, and five (5) previously existing parking stalls will be re-striped. The playground will be secured with a 5'-0" tall wrought iron fence that will separate the outdoor playground area from the rest of the parking lot. The outdoor space will contain age-appropriate play structures and equipment.

The proposed hours of operation are from 7:30 a.m. to 6:00 p.m. Drop-off is expected between 7:30 a.m. and 8:30 a.m., which allows a one-hour window. Breakfast is served at 8:30 a.m., to allow for instruction and other activities to begin at 9:00 a.m. Pick-up is between 5:30 p.m. and 6:00 p.m. Conditions of approval will required that the applicant provide a drop-off and pick-up plan to prevent any impacts to the shopping center that the surrounding area.

Dragonfly Academy will abide by all applicable State laws, administered and regulated by the California Department of Social Services (CDSS), and will provide the requisite minimum amount of indoor and outdoor activity space, as determined by CDSS.

A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The parking study determined that there is sufficient parking available for the proposed use. The study has been reviewed and approved by the City's Traffic Engineering Division.

The Community and Economic Development Department has reviewed the request and is supporting the proposal. All appropriate Conditions of Approval have been incorporated.

#### FINDINGS AND REASONS:

1. The proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The subject site has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2, and is zoned GGMU-2 (Garden Grove Boulevard Mixed Use 2). The Residential/Commercial Mixed Use 2 General Plan Land Use Designation is intended to provide a mix of residential and

commercial uses mostly around older underutilized, multi-tenant commercial developments.

Dragonfly Academy classifies as a "child daycare center", a commercial type use, which the Municipal Code defines as "consistent with Health and Safety Code Section 1596.76, any preschool/daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq. other than a family daycare home, and includes infant centers, preschools, extended daycare facilities, and school age child care centers, which provide care, protection and supervision to children, for periods of less than 24 hours per day". A "child daycare center" use, which includes preschools, is a conditionally permitted use in the GGMU-2 zone. The establishment of the proposed preschool/daycare use is consistent with the goals and policies of the General Plan, which include:

- a. *Policy LU-1.3: To encourage a wide variety of retail and commercial services, such as restaurants and cultural arts/entertainment, in appropriate locations.*

The proposed preschool/daycare, Dragonfly Academy, will provide essential child care services to residents in the community.

- b. *Policy LU-2.4: To assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood; and Goal LU-4: The City seeks to develop uses that are compatible with one another.*

A child daycare center, which includes a preschool, is a low-intensive use that is compatible with the existing surrounding uses in the area, which includes the existing residential and commercial uses in the immediate neighborhood.

- c. *Goal LU-5: To achieve economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community; and Goal LU-6: Revitalization of aging, underused or deteriorated commercial corridors, centers, and properties in the City; and Policy LU-6.2: Encourage a mix of retail shops and services along the commercial corridors and in centers that better meet the needs of the area's present and potential clientele.*

The proposed preschool/daycare, Dragonfly Academy, will provide essential child care services to residents in the community, while also filling a tenant space vacancy within the existing shopping center, which has been vacant since 2020. The existing shopping center currently includes multiple vacancies. And the proposed

preschool/daycare will fill a vacant tenant space, supporting efforts to revitalize the shopping center.

2. The requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The proposed use is located in a commercial zone, on a commercially developed property with similar type uses that are permitted in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. The day-to-day business operations of Dragonfly Academy will remain within an enclosed building, with an outdoor playground area screened from public view, and is overall low impact in nature to the surrounding area. A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division, which demonstrates that there is sufficient parking available for the proposed use. The Conditions of Approval will minimize potential impacts to the adjoining area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area.

Additionally, the use will not unreasonably interfere with the use, enjoyment or valuation of the property of other persons located within the vicinity of the site. The proposed preschool/daycare operation is conditionally permitted (requires approval of a Conditional Use Permit) in the GGMU-2 (Garden Grove Boulevard Mixed Use 2) zone. The business activities will be compatible with the surrounding uses provided the business complies with all appropriate codes and regulations set forth in the City's Municipal Code as well as requirements of the Orange County Fire Authority (OCFA), applicable California Building Codes, and requirements of State law administered and regulated by the California Department of Social Services (CDSS).

Finally, the use will not jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare. The Conditions of Approval will ensure the public health, safety, and welfare. Also, the applicant is required to obtain all necessary building permits to ensure maintenance of public health, safety, and welfare. Therefore, the project will not create a menace to the public health, safety, or welfare provided the Conditions of Approval are adhered to for the life of the project, and all

necessary permits are obtained with accompanying inspections (i.e., building, OCFA, and CDSS permits, license, and inspections).

3. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject site is currently improved with an existing multi-tenant commercial shopping center, Newton Plaza, comprised of two (2) buildings on two (2) parcels under separate ownership. The City has reviewed the proposed plans associated with the site improvements, including the addition of the fenced outdoor playground, to ensure that adequate site circulation, parking, and loading area access are maintained. A parking study has been submitted in order to determine if there is adequate parking to support the subject preschool/daycare and all other on-site uses within the shopping center. The study has been reviewed and approved by the City's Traffic Engineering Division, which demonstrates that there is sufficient parking for the proposed use. No site walls, yards, or landscaping will be affected by the proposed preschool/daycare.

4. The proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The site is adequately served by one (1) shared driveway located off of Garden Grove Boulevard. The site is also adequately served by the public service facilities required such as public utilities: gas, electric, water, and sewer facilities.

#### INCORPORATION OF FACTS AND REASONS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Zoning Administrator incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Zoning Administrator does conclude:

1. Conditional Use Permit No. CUP-232-2023 does possess characteristics that would indicate justification of the requests in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
2. In order to fulfill the purpose and intent of the Municipal Code, and thereby promote the health, safety, and general welfare, the following conditions of

approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-232-2023.

Dated: January 26, 2023

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DAVID DENT  
ZONING ADMINISTRATOR

## **EXHIBIT "A"**

### **Conditional Use Permit No. CUP-232-2023**

8762 Garden Grove Boulevard, Suite #102  
(Assessor's Parcel No. 097-222-02)

#### **CONDITIONS OF APPROVAL**

##### **General Conditions**

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to the project applicant, Toby Nguyen, the current owner of the property, Austin Park and Julianne Park, the future owner(s) and tenant(s) of the property, and each of their respective successors and assigns, including all subsequent purchasers and/or tenants. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the Planning Commission, except as otherwise provided herein.
3. This Conditional Use Permit only authorizes the operation of an approximately 3,748 square foot "child daycare center" use/operation consistent with Health and Safety Code Section 1596.76, as a preschool/child daycare facility licensed pursuant to Health and Safety Code Section 1596.80 et seq., which provides care, protection and supervision to children, for periods of less than 24 hours per day. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature shall be subject to

approval of new and/or amended land use entitlements by the applicable City hearing body.

5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

**Building and Safety Division**

6. All work shall comply with the latest edition of the Building Standards Code at time of permit application.
7. The children's play structures shall comply with the latest editions of CBC Sections 424 and 11B-240.
8. The circulation path from the public sidewalk to the building entrance shall comply with the latest edition of CBC Section 11B-250.
9. The fire separation between occupancies per CBC Table 508.4 shall be provided throughout, including those on the second floor directly above the proposed group E.
10. Fire-rated construction shall comply with the latest edition of CBC Chapter 7.
11. The children toilet facilities shall comply with the latest edition of CBC Section 11B-604.9.
12. Toilet facilities for adults complying with CBC Section 11B-604 shall be provided.
13. Clear floor space and maneuvering clearance at all doors shall be provided.
14. The daycare class rooms shall comply with common path of egress travel per the latest edition of CBC Section 1029.8.
15. The exit access doorway configurations shall comply with the latest edition of CBC Section 1007.



**Orange County Fire Authority**

16. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

**Public Works Water Services Division**

17. If proposed, new water service installations 2" and smaller, may be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by developer/owner's contractor per City Standards.
18. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
19. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
20. It shall be the responsibility of owner/developer to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
21. A composite utility site plan shall be part of the water plan approval.
22. New utilities shall have a minimum 5 foot horizontal and a minimum 1 foot vertical clearance from water main and appurtenances.
23. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.

24. City shall determine if existing water services(s) is/are usable and meets current City Standards. Any existing meter and service located within new driveway(s) shall be relocated at owner's expense.
25. If any modifications, additions or alterations are proposed for the existing fire sprinkler system, fire service is required to be upgraded to have above-ground backflow device with a double-check valve assembly (see City Standard B-773). Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Division. Contact Water Engineering for additional requirements for plan submittal at (714) 741-5346.
26. Location and number of fire hydrants shall be as required by the Orange County Fire Authority (OCFA) and installed per Water Services standards and specifications.
27. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
28. If needed, owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" minimum diameter, extra strength VCP with wedgelock joints.
29. Contractor shall abandon any existing unused sewer lateral(s) at street right-of-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete. Only one sewer connection per lot is allowed.
30. All perpendicular crossings of the sewer, including laterals, shall maintain a vertical separation of minimum 12" below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.

**Community and Economic Development Department**

31. No outside storage or displays shall be permitted at any time.

32. All business activities shall be conducted within the wholly enclosed building, except for outdoor play activities within the designated gated outdoor playground area at the rear of the tenant space.
33. Hours of operation for the preschool/daycare facility shall be permitted from 7:30 a.m. to 6:00 p.m. If problems arise where the hours of operation need to be reduced in order to minimize any problems, the operator shall change the hours of operation, as prescribed by the Police Department.
34. The maximum enrollment capacity of 54 children, contemplated and approved under CUP-232-2023, is contingent upon the applicant obtaining final approval and acknowledgement in writing of a waiver from the California Department of Social Services for any indoor or outdoor activity space(s), including any other applicable requirements by CDSS, prior to commencement of operation of the preschool/daycare. Provided the applicant has successfully obtained the necessary waiver for indoor and/or outdoor activity space, along with the State license for the preschool/daycare facility, the facility is permitted a maximum enrollment capacity of 54 children, as proposed. In the event that the applicant is unable to obtain approval of a waiver from CDSS from any applicable State law requirements, including those related to minimum indoor and/or outdoor activity spaces, that would preclude the proposed maximum enrollment capacity of 54 children, the applicant shall limit the maximum number of children for the preschool, as required and stipulated by the approved state license for the facility. At no time, nor under any circumstance, shall the facility exceed a maximum capacity of 54 children, unless the applicant has obtained necessary approval to modify the existing Conditional Use Permit or obtain approval of a new Conditional Use Permit, as determined by the Community and Economic Development Department and approved by the appropriate hearing body.
35. The Applicant shall ensure there is no dumping and/or storing of products, items, or other, relating to its business operation, on the property or around the subject tenant space. The applicant shall ensure the areas near and around the subject tenant space are free and clear of any products, items, trash/litter, dumped items, or other similar potential nuisances.
36. There shall be no deliveries to or from the premises before 7:00 a.m. and after 10:00 p.m., seven days a week.

37. All rear doors shall be kept closed at all times during the operation of the licensed premises, except to permit employee ingress and egress, deliveries, and in emergencies.
38. If, at any time, the subject property cannot accommodate the parking demand generated by the preschool/daycare resulting in a nuisance, hindrance, and/or problem with either on-site and off-site parking and circulation, the applicant shall devise and implement a plan, prepared by a licensed traffic engineer and approved by the City, to relieve the situation.

Upon written request by the City, the applicant shall submit a plan to manage the parking issues for review and approval by the Community and Economic Development Department. The plan may include, but is not be limited to: reducing the hours of operation, instituting an off-site parking arrangement; having on-site parking control personnel; and/or other actions that may be deemed applicable to the situation.

If the City's Community and Economic Development Director deems such action is necessary to address parking and circulation problems, such action shall be implemented within 30 days of written notice. Failure to take appropriate action shall be deemed a violation of these Conditions of Approval and may result in the City restricting the overall use of the facility and/or revocation of Conditional Use Permit No. CUP-232-2023.

39. All children drop-off and pick-up shall occur on-site and shall not impact on- or off-site circulation.
40. The applicant shall prepare a parking and circulation plan for the preschool/daycare facility that is available for parents. The plan shall identify the on-site, one-way, circulation patterns for all vehicles. The plan shall identify the drive aisle located along Garden Grove Boulevard as the main entrance and exit driveway. The plan shall show the approved drop-off and pick-up area within the rear parking area. A copy of the parking and circulation plan shall be submitted to the Planning Division within 30-days from the date of this approval.
41. All children shall remain under the supervision of the operator or staff at all times, and shall not be permitted to wander or freely roam outside the building, except within the playground area.
42. All parking lot areas of the licensed premises shall be equipped with lighting of sufficient power to illuminate and make easily discernible the appearance

and conduct of all persons on or about the parking lots. The applicant shall ensure that all parking lot lighting is in proper working order.

43. Lighting in the parking area of the licensed premises shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate the window areas of nearby residences.
44. Litter shall be removed daily from the premises, including adjacent public sidewalks, and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
45. The trash bin(s) shall be kept inside the trash enclosure(s), and gates closed at all times, except during disposal and pick-up. Trash pick-up shall be at least three (3) times a week.
46. The applicant/property owner shall abate all graffiti vandalism within the premises. The property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
47. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
48. No roof-mounted mechanical equipment, including exhaust vents, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
49. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.

50. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
51. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear advertising or signs of any sort. Any opaque material applied to the store front, such as window shall count toward the maximum window coverage area.
52. Any modifications to existing signs or the installation of new signs shall require approval by the Community and Economic Development Department, Planning Services Division prior to issuance of a building permit.
53. Conditional Use Permit No. CUP-047-2015 is hereby revoked and shall become null and void, and superseded in its entirety, by the approval of CUP-232-2023.
54. A copy of Resolution No. 1834-23 approving Conditional Use Permit No. CUP-232-2023 shall be kept on the licensed premises at all times.
55. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-232-2023, and his/her agreement with all conditions of the approval.
56. This Conditional Use Permit may be called for review by City Staff, the City Council, or the Planning Commission for any reason, including if noise or other complaints are filed and verified as valid by the Code Enforcement office or other city department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.
57. A copy of CUP-232-2023 shall be made available upon request by City Staff and/or Police Department.
58. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-232-2023. The applicant shall pay the City's defense costs, including attorney fees and all other litigation

related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City, including, but not limited to, any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

59. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Conditional Use Permit No. CUP-232-2023 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.
60. The applicant shall comply with the Migratory Bird Treaty Act (MBTA), and Sections 3503, 3503.5, and 3515 of the California Fish and Game regulations, which require the protection of active nests of all bird species, prior to the removal of any on-site landscaping, including the removal of existing trees.

# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

<b>AGENDA ITEM NO.:</b> 1.b.	<b>SITE LOCATION:</b> South side of Garden Grove Boulevard, between Kerry and Galway Streets, at 9836 Garden Grove Boulevard
<b>HEARING DATE:</b> January 26, 2023	<b>GENERAL PLAN:</b> RCMU3 (Residential/Commercial Mixed Use 3)
<b>CASE NO.:</b> Conditional Use Permit No. CUP-234-2023	<b>ZONE:</b> GGMU-3 (Garden Grove Boulevard Mixed Use 3)
<b>APPLICANT:</b> Kyunghhee Choi Park	<b>CEQA DETERMINATION:</b> Exempt – Section 15301 - Existing Facilities
<b>PROPERTY OWNER:</b> Hwa Sook Junn	<b>APN:</b> 098-062-24

## **REQUEST:**

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a new vocational beauty trade school, RT7 Beauty School, with a maximum capacity of three (3) instructors, and thirty-six (36) students within an existing 3,081 square foot tenant space, at 9836 Garden Grove Boulevard.

## **BACKGROUND:**

The subject tenant space is an approximately 3,081 square-foot tenant space within an existing shopping center, Hanmi Plaza, located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard. The subject shopping center is currently occupied by a variety of uses, including retail, restaurants, a supermarket, offices, and personal service businesses.

The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The property is adjacent to GGMU-3 zoned properties to the north, south, east, and west.

The specific tenant space under application is an approximately 3,081 square-foot tenant space, on the southern side of the shopping center. According to Business Tax records, RT7 Beauty Salon has occupied the space since 2010. Prior to the operation of the beauty salon, the subject location was previously occupied by a variety of retail uses dating back to 1971.

The applicant for the beauty salon is now requesting Conditional Use Permit approval to operate as a vocational beauty trade school. The existing business will no longer



be in operation as a retail beauty salon. Garden Grove Municipal Code Section 9.18.020.030 requires a Conditional Use Permit for the operation of a "Trade or Business School," which would include vocational beauty schools.

**DISCUSSION:**

The RT7 Beauty School has a total floor area of 3,081 square feet, within the existing salon space. With the tenant space previously being used for a salon, the interior improvements are minimal, and only related to administrative office areas. The school's proposed floor plan consists of a hair washing and cutting area, a classroom for nail care, three (3) areas for skin care training, a classroom for hair care, an administrative office, a restroom, a utility room, and storage rooms.

Students will receive training in hair, skin, and nail care. No body massage, or other physical manipulation of the body will occur at the business. The school will serve only as an educational and training institution, as licensed by the Bureau of Private Postsecondary Education and Board of Barbering and Cosmetology, but will not be a licensing entity. The school will provide a certificate of completion for each student at the conclusion of their course. The school will not directly issue licenses to students once they have completed their courses. Rather, upon completion of their courses, the students will have the requisite training to take the State of California's licensing exams for their respective specializations.

RT7 Beauty School has proposed business hours from Monday to Saturday. Classes will be held in three sessions throughout the day. The morning session will be held from 9:30 a.m. to 12:00 p.m., afternoon sessions from 1:00 p.m. to 5:30 p.m., and the evening sessions from 5:30 p.m. to 9:30 p.m.

The Municipal Code establishes minimum parking requirements for trade schools, based on either the square footage of instructional and office space, or on the number of students and instructors. The proposed school will provide parking based on the number of students and instructors: one (1) parking space per employee, plus one (1) parking space per three (3) students. Based on the design of the tenant space, and availability of work stations, the maximum capacity of the beauty school will be limited to thirty-six (36) students, and three (3) instructors at any one time. In total, this would require a minimum of fifteen (15) parking spaces.

The current use of the space, as a beauty salon, is parked at the retail ratio of one (1) parking space per 200 square feet of gross floor area. Based on the 3,081 square-foot unit size, the current use requires sixteen (16) parking spaces. Therefore, the proposed beauty school requires less parking (15 spaces) than the existing beauty salon (16 spaces). No additional parking is needed for the proposed use.

The proposed vocational beauty trade school will provide new educational opportunities to the community, and will be a compatible use with the existing uses located in the shopping center provided that the school operates in compliance with the conditions of approval. The Community and Economic Development

Department and the Police Department have reviewed the request and are supporting the proposal. All appropriate conditions of approval for a "Business, Trade School" will apply.

**CEQA:**

CEQA's Class 1 exemption applies to the operation, repair, maintenance, permitting, leasing, licensing, and minor alterations of existing facilities, with negligible or no expansion of use (CEQA Guidelines §15301). The subject request for the new beauty school does not physically expand or intensify the existing development. The beauty school is a conditionally permitted use. Upon approval and exercise of the CUP, the proposed business would be in compliance with the Municipal Code. Therefore, the proposed project is exempt from CEQA.

**RECOMMENDATION:**

Staff recommends that the Zoning Administrator take the following action:

1. Adopt Decision No. 1836-23, approving Conditional Use Permit No. CUP-234-2023, subject to the recommended conditions of approval.



MARIA PARRA  
Planning Services Manager



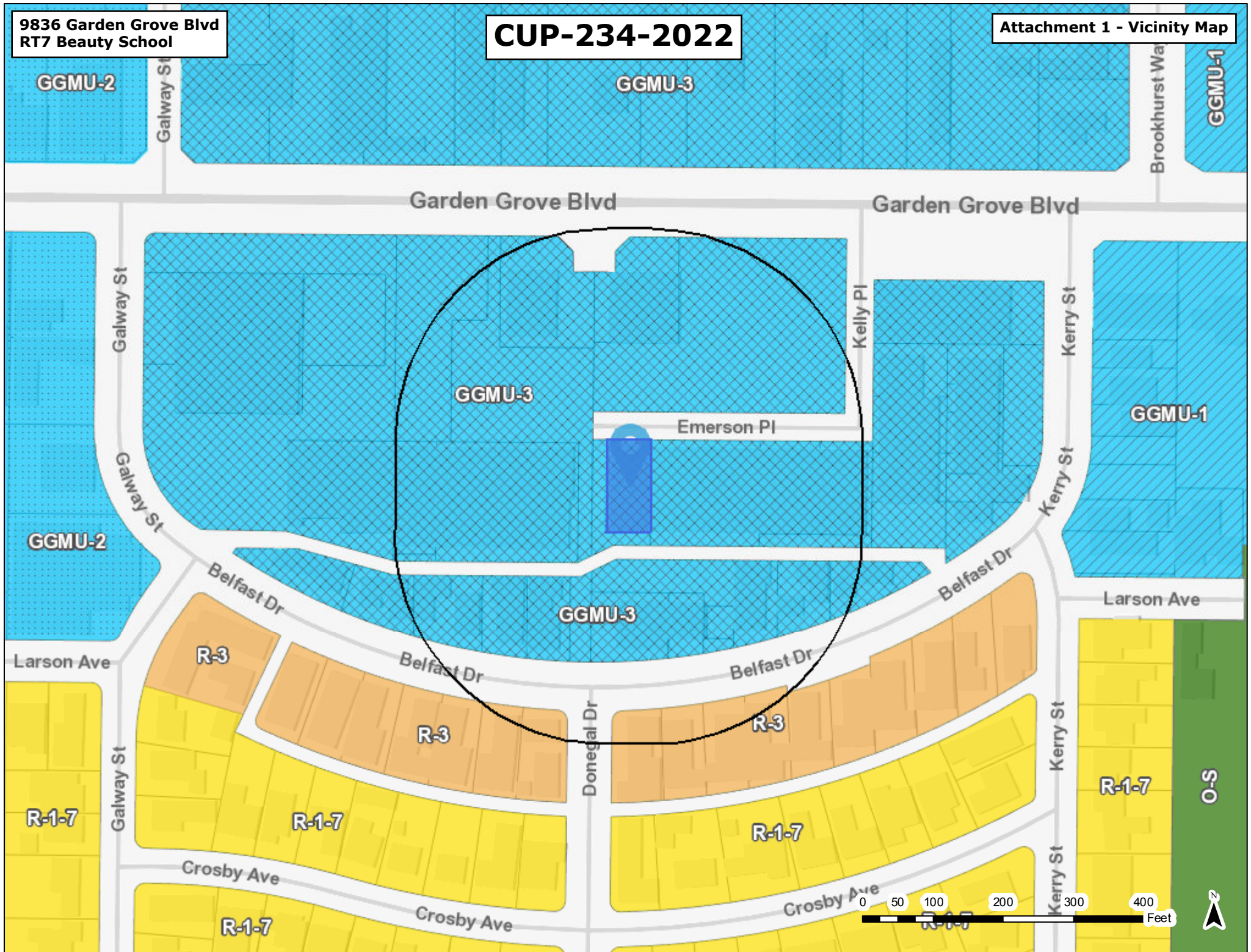
By: Priit Kaskla, AICP  
Assistant Planner

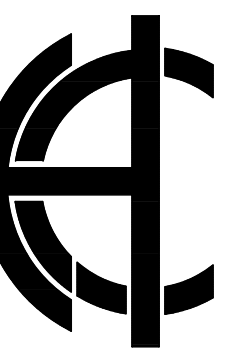
Attachment 1: Vicinity Map  
Attachment 2: Plans

9836 Garden Grove Blvd  
RT7 Beauty School

# CUP-234-2022

Attachment 1 - Vicinity Map





HACE INC. 1333 W. Valero Dr.  
Elkton, CA 92833  
1-949-892-9732 E.hseol@haceinc.com

# CONDITIONAL USE PERMIT FOR RT7 BEAUTY COLLEGE

9836 Garden Grove Blvd., Garden Grove, CA 92844



City Submittal

RT7 Beauty College  
9836 Garden Grove Blvd  
Garden Grove, CA 92844

Developed for Linda Choi

Revision	Description	Date

Revision	Description	Date
	AGENCY SUBMITTAL SET	09/09/22

Key Plan N.T.S.



Date	Drawn By
Project Number	Checked By
202207.03	

Sheet Title

COVER

Sheet Number

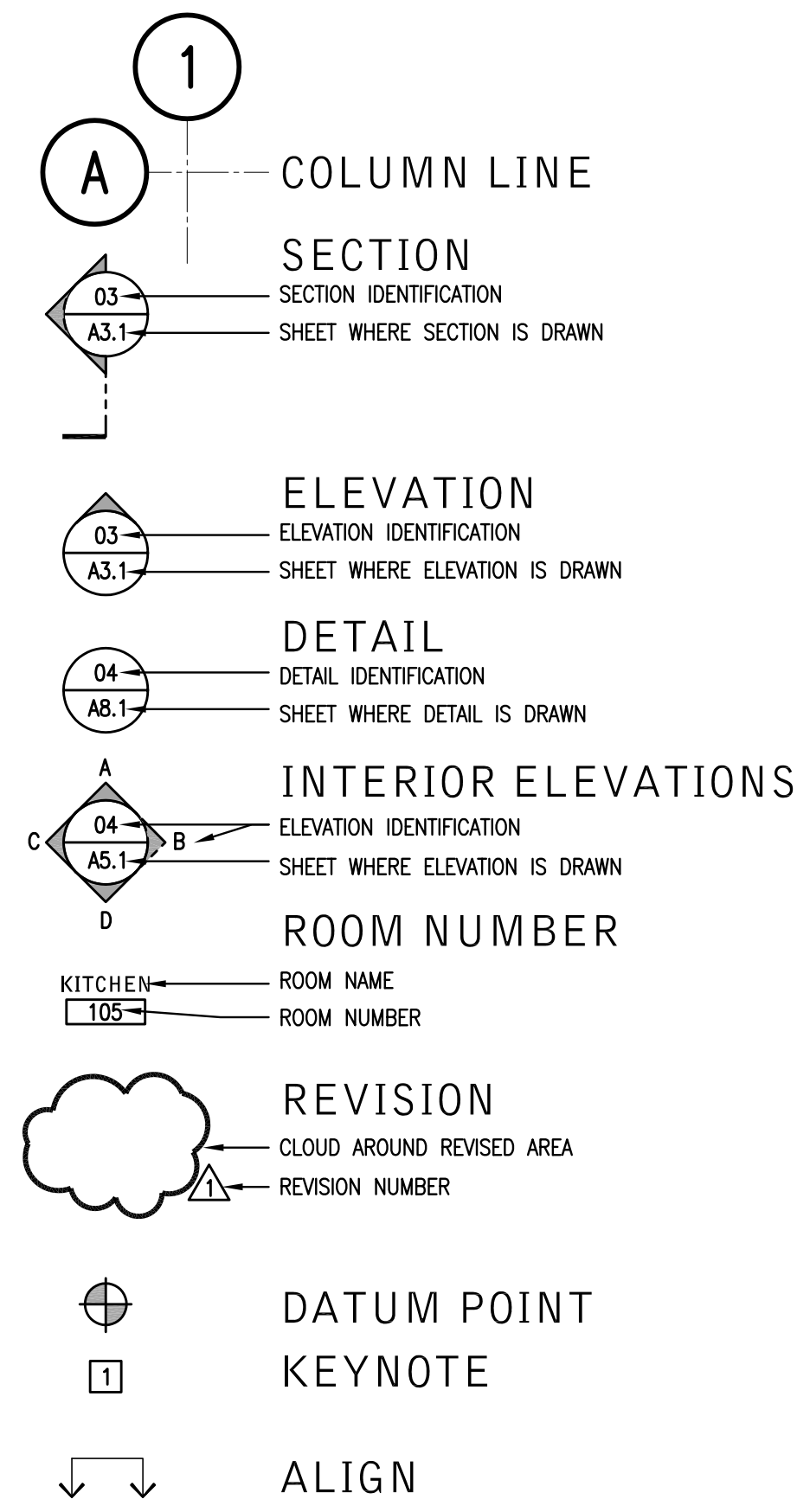
A000

**CUP-234-2022**

ABBREVIATIONS

Table with 4 columns: Abbreviation, Name, Abbreviation, Name. Lists various construction and architectural terms like AND ANGLE, CENTERLINE, LABORATORY, etc.

SYMBOLS



ACCESSIBILITY NOTES

- 1. WHEN A BUILDING, OR PORTION OF A BUILDING, IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING...

GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS, AND THE CONTRACT DOCUMENTS.

APPLICABLE CODES AND STANDARDS

- 2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

SITE INFORMATION

LEGAL DESCRIPTION
APN: 098-062-24
ADDRESS: 9836 GARDEN GROVE BLVD
ZONE CODE: CGMU-3
ZONE DESCRIPTION: GARDEN GROVE BLVD MIXED USE ZONE 3

CODE ANALYSIS

Table with 2 columns: OCCUPANCY GROUP, CONSTRUCTION TYPE, TENANT SPACE AREA. Includes rows for Employee (3), Student (36), and Total (39).

MINIMUM PLUMBING FIXTURE (PER CPC TABLE A):

ONE TOILET FACILITY IS PERMITTED SINCE OCCUPANT LOAD IS LESS THAN 50 PER CPC 422.2 EXCEPTION (3)

SHEET INDEX

Table with 3 columns: DATE ISSUED, DRAWING THIS ISSUE, REVISION NUMBER.

ARCHITECTURAL

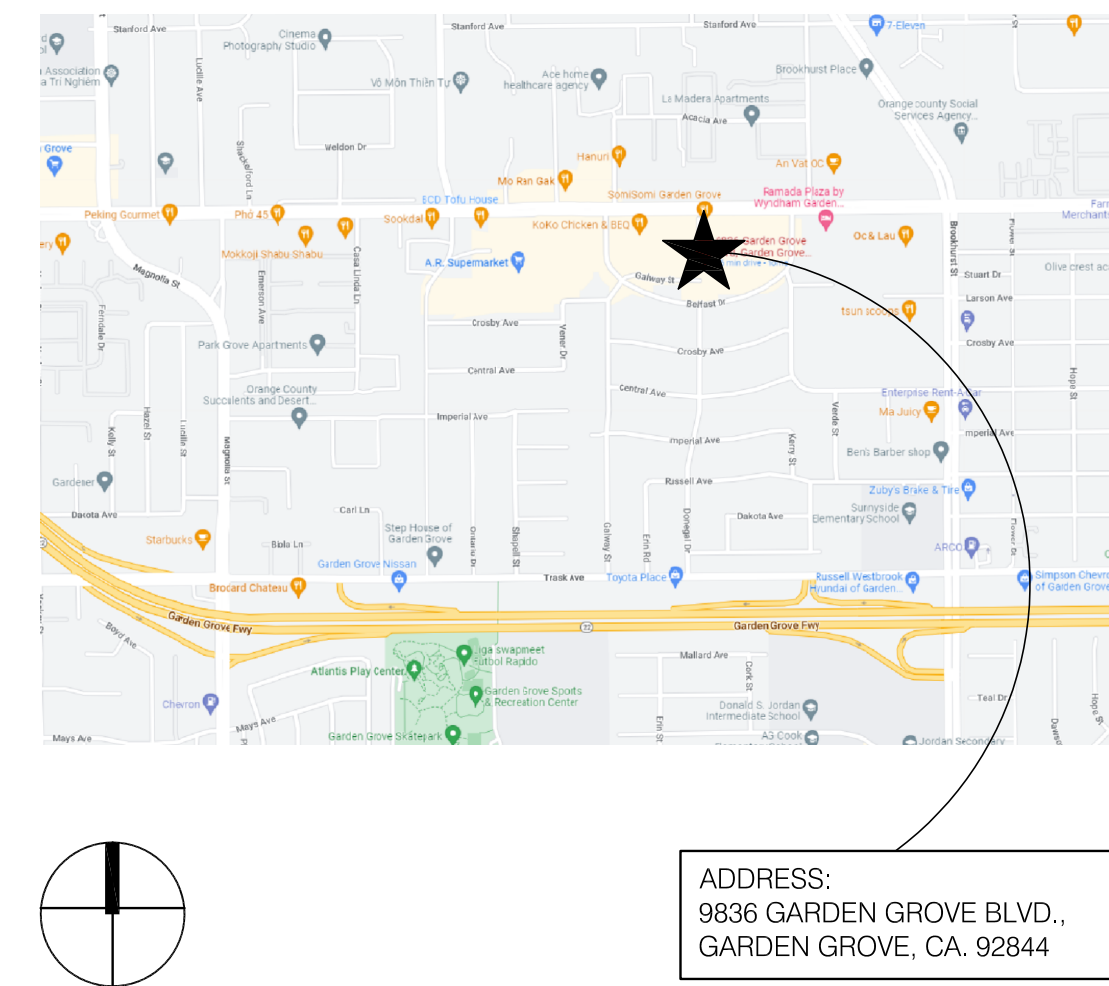
Table with 2 columns: Code, Description. Lists architectural codes like A000 COVER, A001 GENERAL NOTES, etc.

PROJECT DIRECTORY

OWNER
Word of Life Books
9838 Garden Grove Blvd, Garden Grove CA 92844
Tele: (714) 530-2211
Contact: Jun Hwa Suk E-mail: biblestore@gmail.com

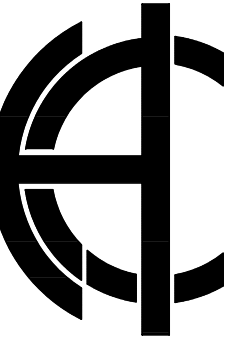
ARCHITECT
HACE INC
1303 W. Valencia Dr., #214, Fullerton, CA 92833
Tele: (949) 892-9732
Contact: Hyung Jin Seo E-mail: haccoinc@gmail.com

VICINITY MAP



SCOPE OF WORK

TENANT IMPROVEMENT FOR BEAUTY COLLEGE
- CONVERT EXISTING BEAUTY SALON TO BEAUTY COLLEGE. NO CONSTRUCTION WORKS.



HACE INC. 1303 W. Valencia Dr., Fullerton, CA 92833 1949-892-9732 E: haccoinc@gmail.com



R17 Beauty College
9836 Garden Grove Blvd
Garden Grove, CA 92844

Developed for Linda Choi

Table for Revision/Description with columns for Date, Description, Revision.

Table for Revision/Description with columns for Date, Description, Revision.

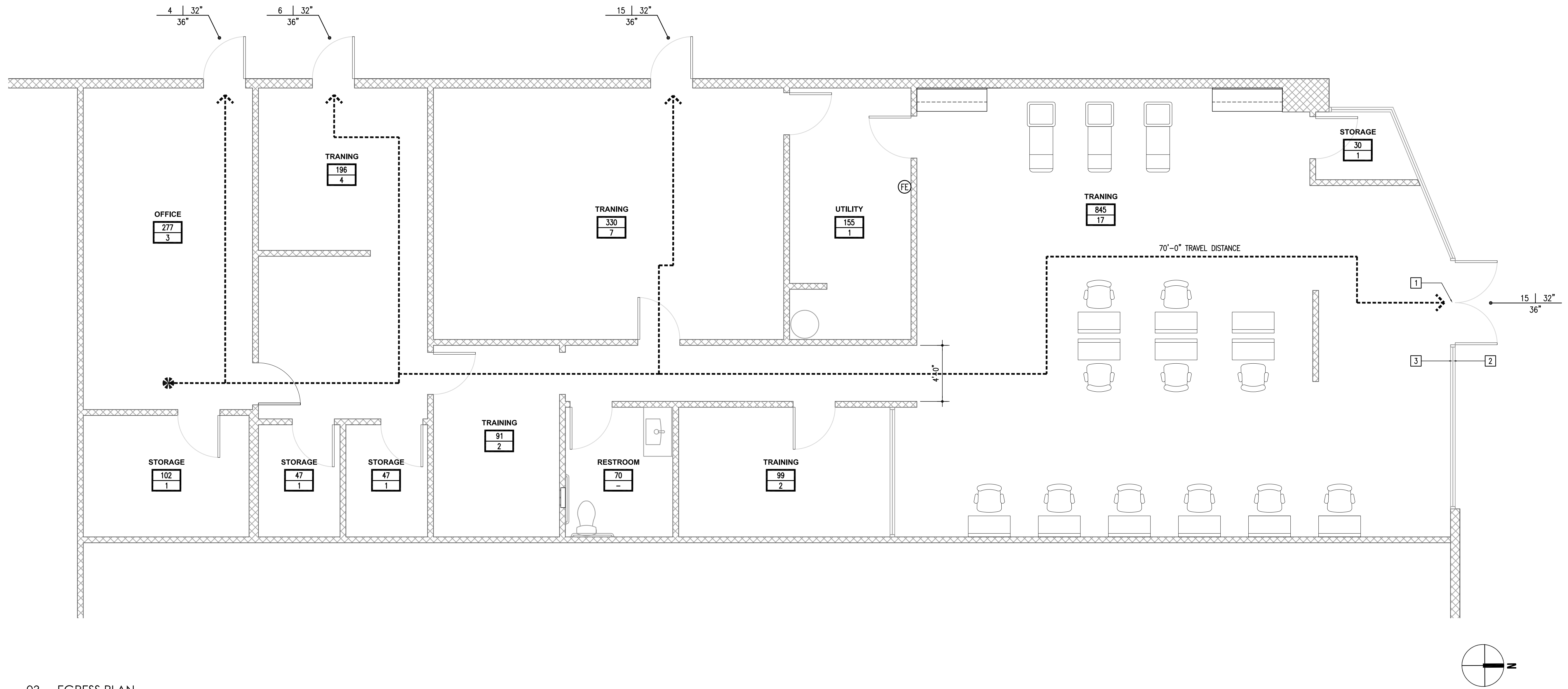
Table for Date/Drawn By and Project Numbers/Checked By.

Table for Date/Drawn By and Project Numbers/Checked By.

GENERAL NOTES







03 EGRESS PLAN

REF. SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE CALCULATION

PLUMBING OCCUPANT LOAD CALCULATION (PER CPC TABLE A):	AREA	O.L.F.	O.L.
TRAINING	1,561 S.F.	50	32
OFFICE	277 S.F.	200	2
STORAGE	179 S.F.	5,000	1
UTILITY	155 S.F.	2,000	1
RESTROOM	117 S.F.	NONE	-
CIRCULATION	792 S.F.	NONE	-
<b>TOTAL</b>	<b>3,081 S.F.</b>		<b>36</b>

REQUIRED FIXTURES  
SEPARATE TOILET FACILITIES NOT REQUIRED PER CPC 422.2 EXCEPTION (3)

PROVIDED FIXTURES  
(1) GENDER NEUTRAL RESTROOM WITH (1) TOILET AND (1) LAVATORY PROVIDED

OCCUPANCY CALCULATION

OCCUPANT LOAD CALCULATION (PER CBC TABLE 1004.1.2):	OCCUPANT LOAD
B (EMPLOYEE)	3
B (STUDENT)	36
<b>TOTAL</b>	<b>39</b>

PARKING ANALYSIS

	OCCUPANT LOAD	PARKING STALLS
B (EMPLOYEES)	3	3
B (STUDENT)	36	12 (36/3)
<b>TOTAL</b>		<b>15</b>

PROVIDED: EXISTING

	STANDARD ACCESSIBLE	14 STALLS
<b>TOTAL</b>		<b>15 STALLS</b>

GENERAL NOTES

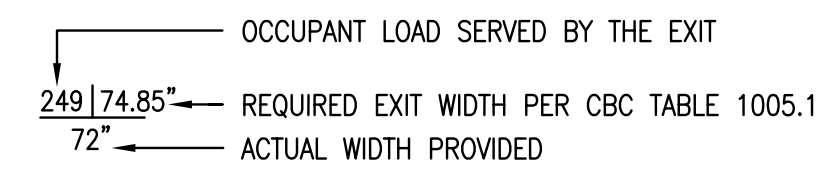
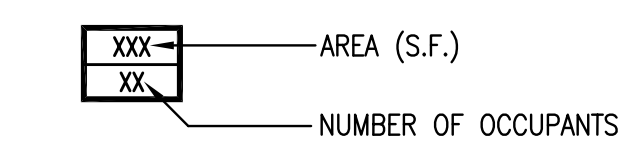
1. MAINTAIN 2% MAXIMUM CROSS SLOPE AT ACCESSIBLE PATH OF TRAVEL.
2. MAINTAIN 5% MAXIMUM DIRECTION OF TRAVEL AT ACCESSIBLE PATH OF TRAVEL.

LEGEND

ACCESSIBLE PATH OF TRAVEL (P.O.T.)  
 "PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.

SEMI-RECESSED FIRE EXTINGUISHER - UL RATING 4A-60BC SEE 11/A901

KEYNOTE



- 1 PROVIDE SIGNAGE READING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" ON HEADER FRAME OF THE DOOR.
- 2 ACCESSIBLE ENTRANCE SIGN SEE
- 3 TACTILE EXIT SIGN. SEE



R17 Beauty College  
 9836 Garden Grove Blvd  
 Garden Grove, CA 92844  
 Developed for Linda Chai

Date	Description	Revision
07/07/22	ACCTIC 1308/RT/ALINE/DET	

Key Plan N.T.S.

Date	Drawn By

Project Number	Checked By
202207.03	

Sheet title

CODE ANALYSIS

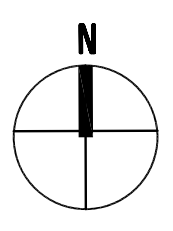
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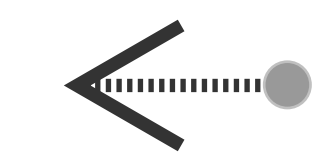




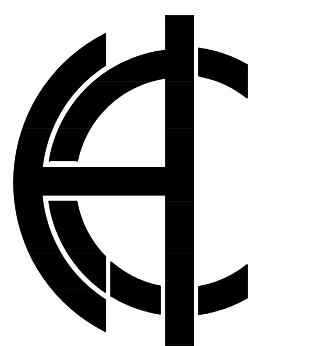
01 ACCESSIBLE PATH OF TRAVEL



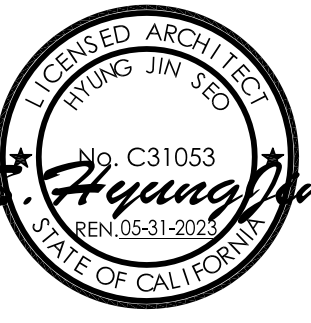
LEGEND



**ACCESSIBLE PATH OF TRAVEL (P.O.T.)**  
 \*PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.



HACE INC. 1333 W. Valero Dr.  
 Elerton, CA 92833  
 1549.892.9732 E.hseol@haceinc.com

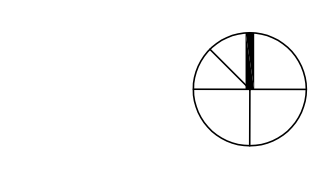


RT7 Beauty College  
 9836 Garden Grove Blvd  
 Garden Grove, CA 92844

Developed for Linda Chai

Revision	Description	Date

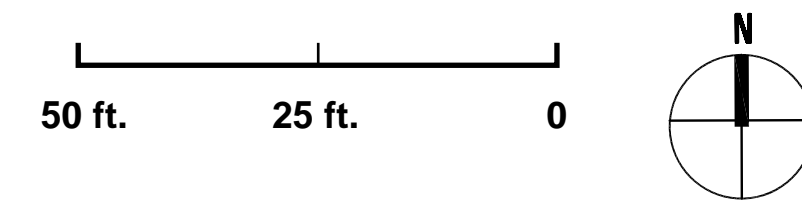
Key Plan N.T.S.



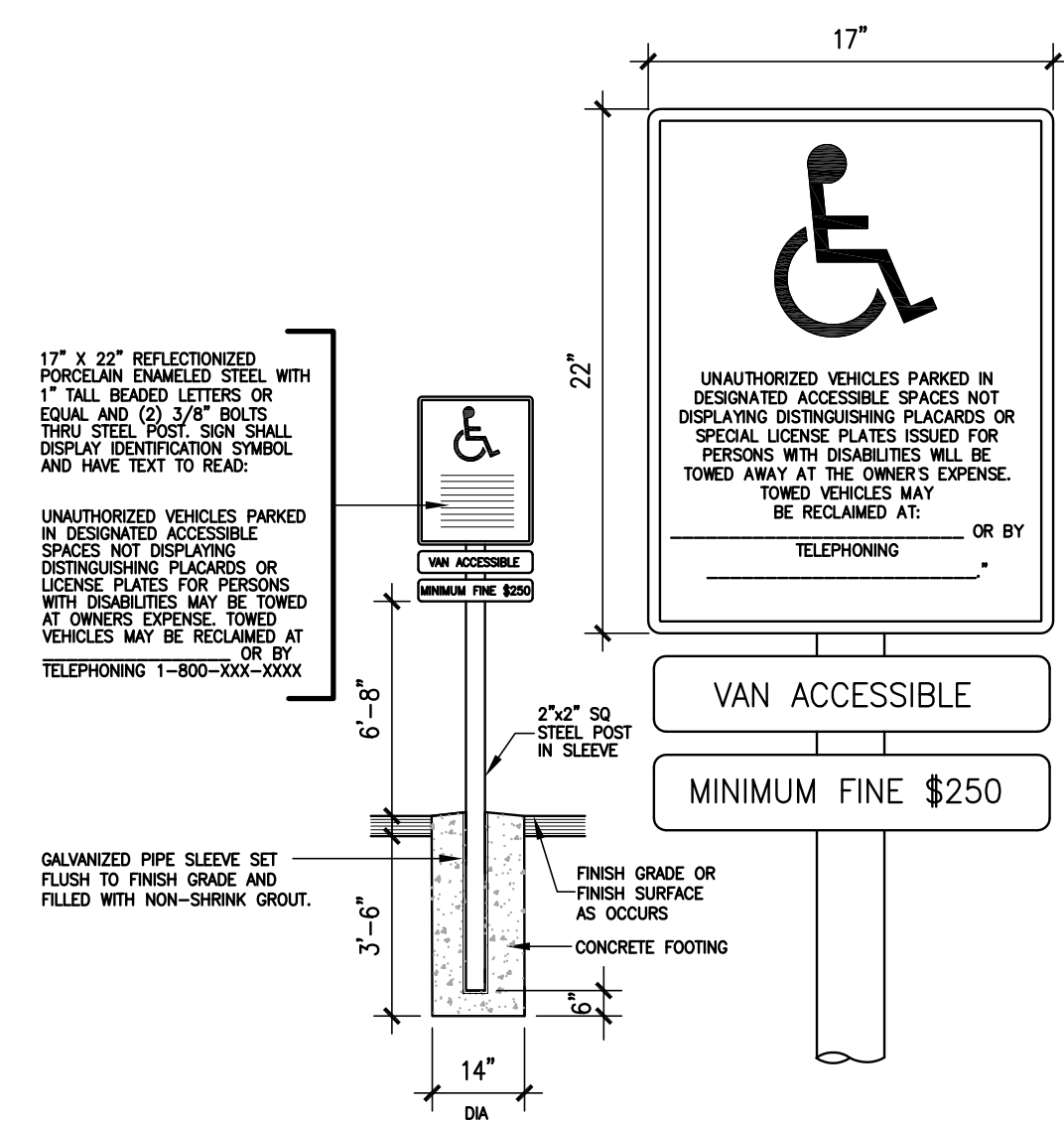
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Project Number 202207.03	Checked By
Sheet Title	

ACCESSIBLE PATH OF TRAVEL

Sheet Number  
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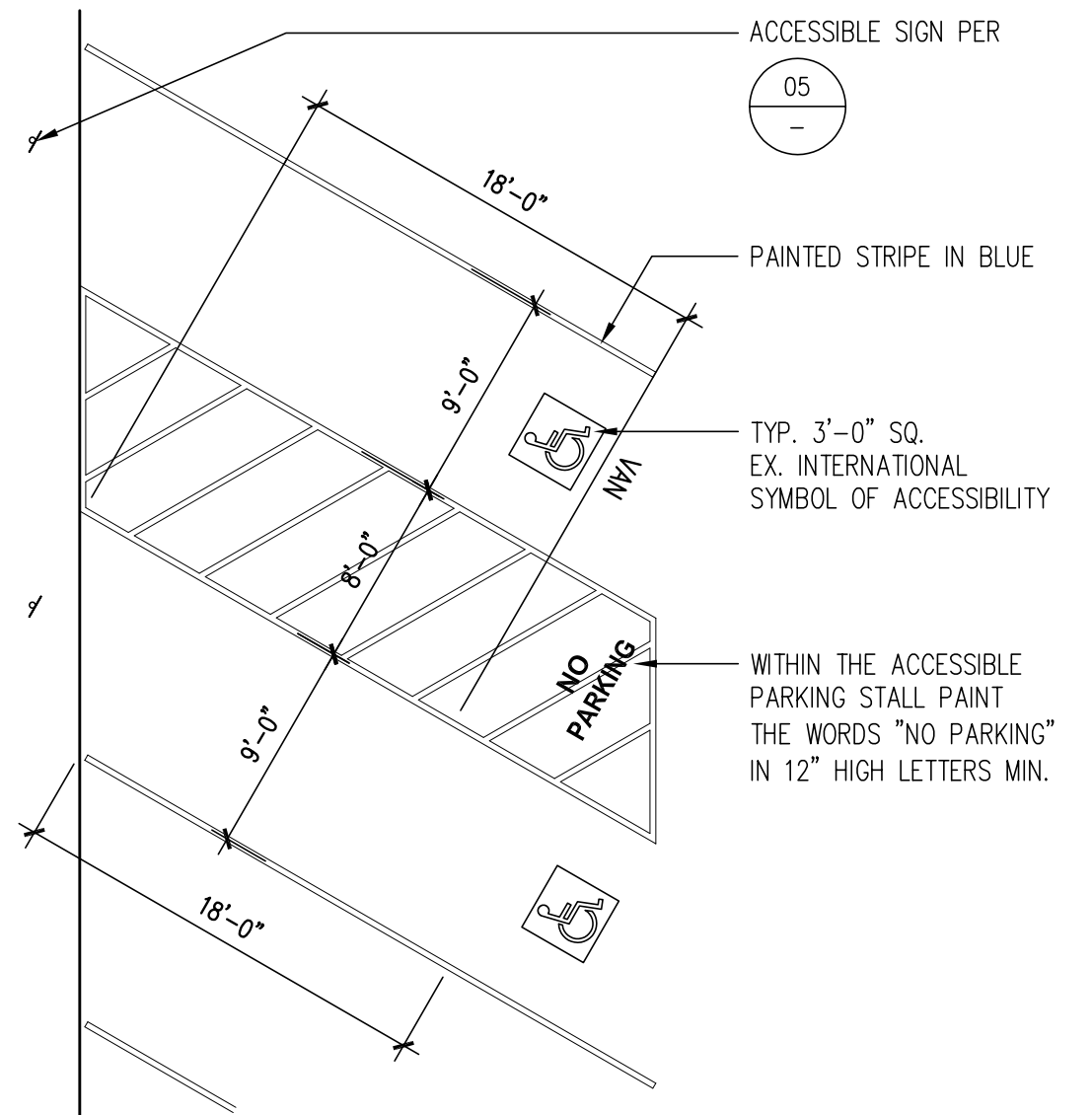


01 SITE PLAN (FOR REFERENCE ONLY)



15 ACCESSIBLE PARKING SIGN AT ENTRANCE

REF. SCALE: 1/2" = 1'-0"



09 ACCESSIBLE PARKING STALL

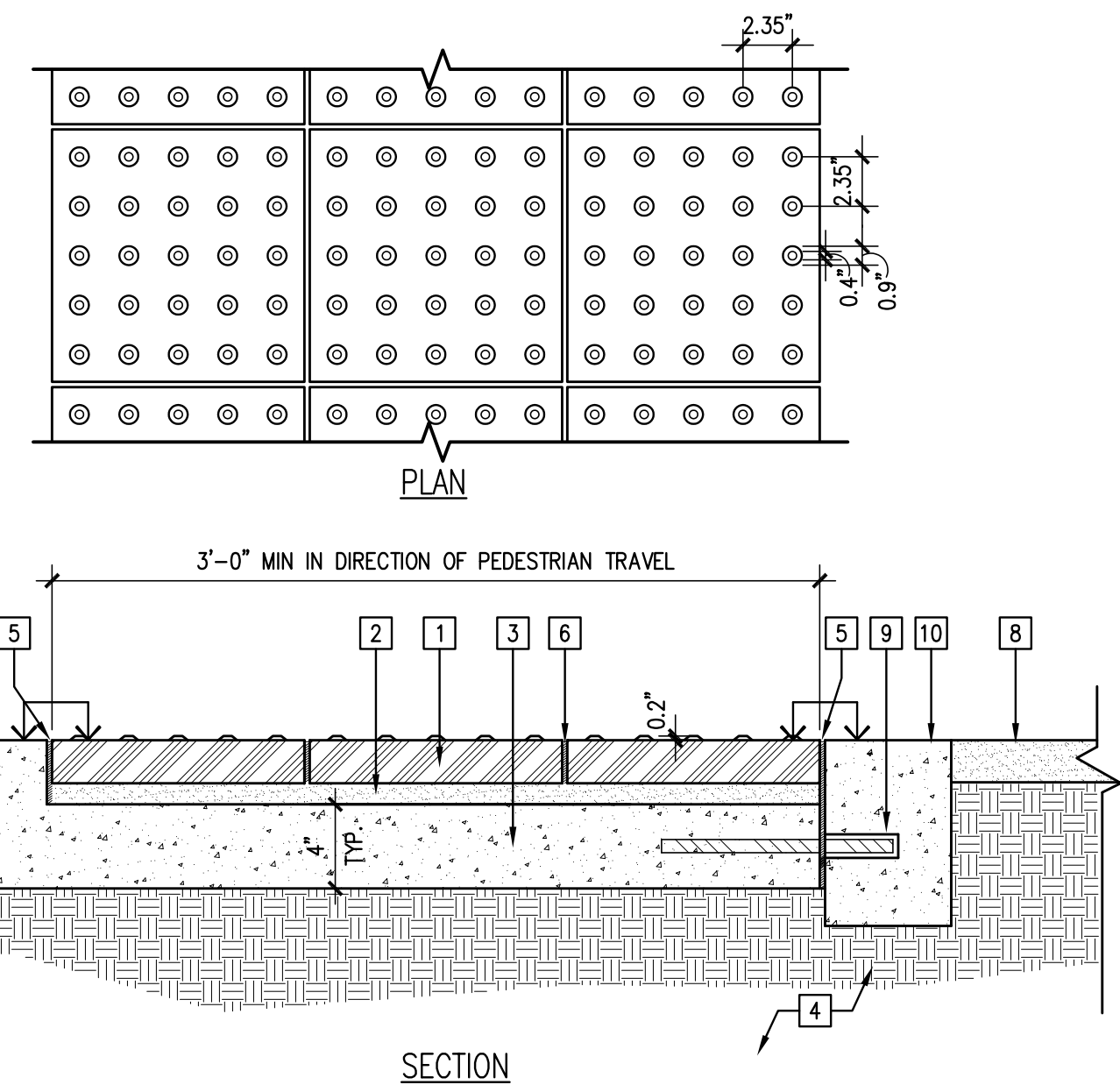
REF. SCALE: 1/8" = 1'-0"

- 1 12"x12" (NOMINAL) TRUNCATED DOME TILES PER LAYOUT AND MATERIALS PLAN. COLOR: YELLOW (ADA-40) NO. 33538 PER FED STD 595B, CBC 1133B.8.5, AND 1121B.3.1.8A. COLOR TO BE IN CONTRAST WITH ADJACENT PAVING.
- 2 MORTAR SETTING BED PER MANUF.
- 3 CONCRETE
- 4 BASE MATERIAL AND COMPACTED SUBGRADE
- 5 EXPANSION JOINT
- 6 GROUT JOINT
- 7 FINISH SURFACE
- 8 ADJACENT PAVING
- 9 1/2" SMOOTH STEEL DOWEL X 24" @ 18" O.C. FOR PEDESTRIAN  
5/8" SMOOTH STEEL DOWEL X 24" @ 18" O.C. FOR VEHICULAR, USE "SPEED DOWEL" BY GREENSTREAK.
- 10 CONCRETE CURB

NOTE:  
1. TRUNCATED DOME TILES ARE TO CONFORM TO STATE ACCESSIBILITY STANDARDS. CONTRACTOR TO VERIFY STANDARDS PRIOR TO INSTALLATION.  
2. ONLY APPROVED DIVISION OF THE STATE ARCHITECT, ACCESS COMPLIANCE (DS/AC) APPROVED DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED.

07 TRUNCATED DOME PAVERS

REF. SCALE: 1 1/2" = 1'-0"



SECTION

SCALE: 1 1/2" = 1'-0"

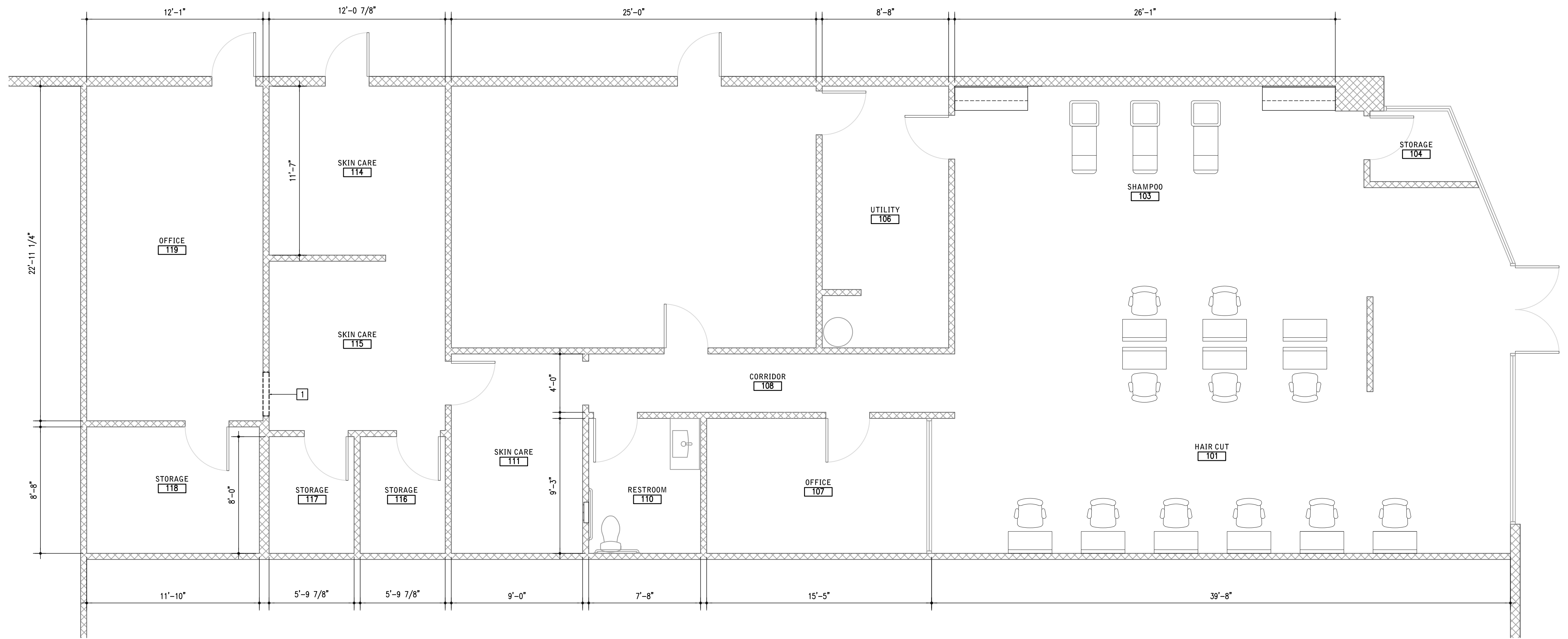
**LEGEND**

**ACCESSIBLE PATH OF TRAVEL (P.O.T.)**  
 "PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (1133B.8.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (1133B.8.6). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1133B.

- KEYNOTES**
- 1 EXISTING TWO WAY TRAFFIC AISLE AND PARKING TO REMAIN
  - 2 EXISTING ACCESSIBLE PARKING STALL PER 09

Revision	Description	Date


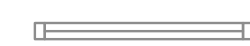

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03 EXISTING FLOOR PLAN

REF. SCALE: 1/4" = 1'-0"

LEGEND

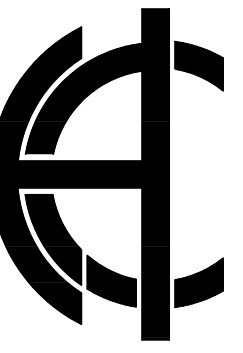
-  EXISTING WALL, POWER & COMMUNICATION OUTLET, AND SWITCH TO REMAIN
-  EXISTING FRAME GLASS TO REMAIN
-  EXISTING HALF WALL

KEYNOTES

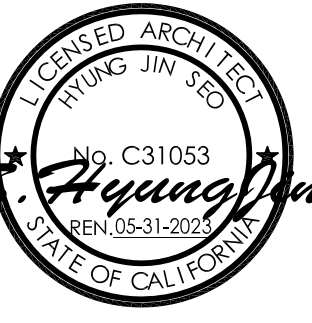
- 1 REMOVE WALL TO ADD NEW DOOR
- 2

GENERAL NOTES

7. CONTRACTOR TO STORE SALVAGED MATERIALS ON SITE IN A PROTECTED AREA AND IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF DEVICE FOR REUSE.
8. DEMOLITION SHALL INCLUDE ALL EXISTING CEILINGS, AND CEILING ELECTRICAL AND MECHANICAL FIXTURES, UNLESS NOTED OTHERWISE.
9. PRIOR TO WORK, CONTRACTOR SHALL FIELD VERIFY IF THERE IS ANY STRUCTURAL WALL AND FIRE RATED WALL THAT ARE TO BE REMOVED AND NOTIFY ARCHITECT.
10. CONTRACTOR SHALL THOROUGHLY INVESTIGATE STRUCTURE AND PROVIDE SHORING PRIOR TO DEMOLITION AS NECESSARY.
1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, LIGHTING, POWER, AND COMMUNICATIONS NECESSARY TO ACCOMPLISH THE DEMOLITION WORK AS DESCRIBED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL CLEAN ALL ADJACENT SPACES AND IMPROVEMENTS OF ALL DEBRIS CAUSED BY DEMOLITION OPERATIONS AS DIRECTED BY OWNER AND OR THE ARCHITECT.
3. THE CONTRACTOR SHALL DISPOSE OF REMOVED AND DEMOLISHED ITEMS INCLUDING TRASH AND DEBRIS OFF THE OWNER'S PREMISES IN A LEGAL FASHION, LEAVING THE PREMISES IN A BROOM-CLEAN CONDITION.
4. THE CONTRACTOR SHALL ACCOMPLISH ALL DEMOLITION WORK IN ACCORDANCE WITH ALL GOVERNMENTAL REQUIREMENTS, SUPPLYING ADEQUATE PROTECTION AROUND ALL OPENINGS, PROVIDING ALL BARRICADES AND SAFEGUARDS AT ALL HOLES, SHAFT OPENINGS, ETC., TO PREVENT INJURY TO WORKMEN AND OTHERS HAVING BUSINESS WITHIN AND ABOUT THE PREMISES. ALSO PROVIDE ALL SAFEGUARDS AS REQUIRED BY THE BUILDING CODE, OSHA, OR OTHER DEPARTMENTS HAVING JURISDICTION. TAKE FULL RESPONSIBILITY FOR ALL SAFETY PRECAUTIONS AND METHODS.
5. ALL CONSTRUCTION MATERIALS TO BE RECYCLED TO THE MAXIMUM FEASIBLE EXTENT. ALL RECYCLABLE CONSTRUCTION MATERIALS ARE TO BE TAKEN TO AN APPROVED TRANSFER STATION.
6. MAINTAIN CONNECTIONS TO EXISTING SITE LIGHTING AND PARKING LOT LIGHTING DURING CONSTRUCTION.



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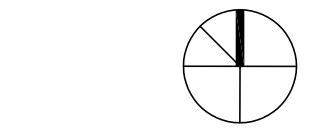
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Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.

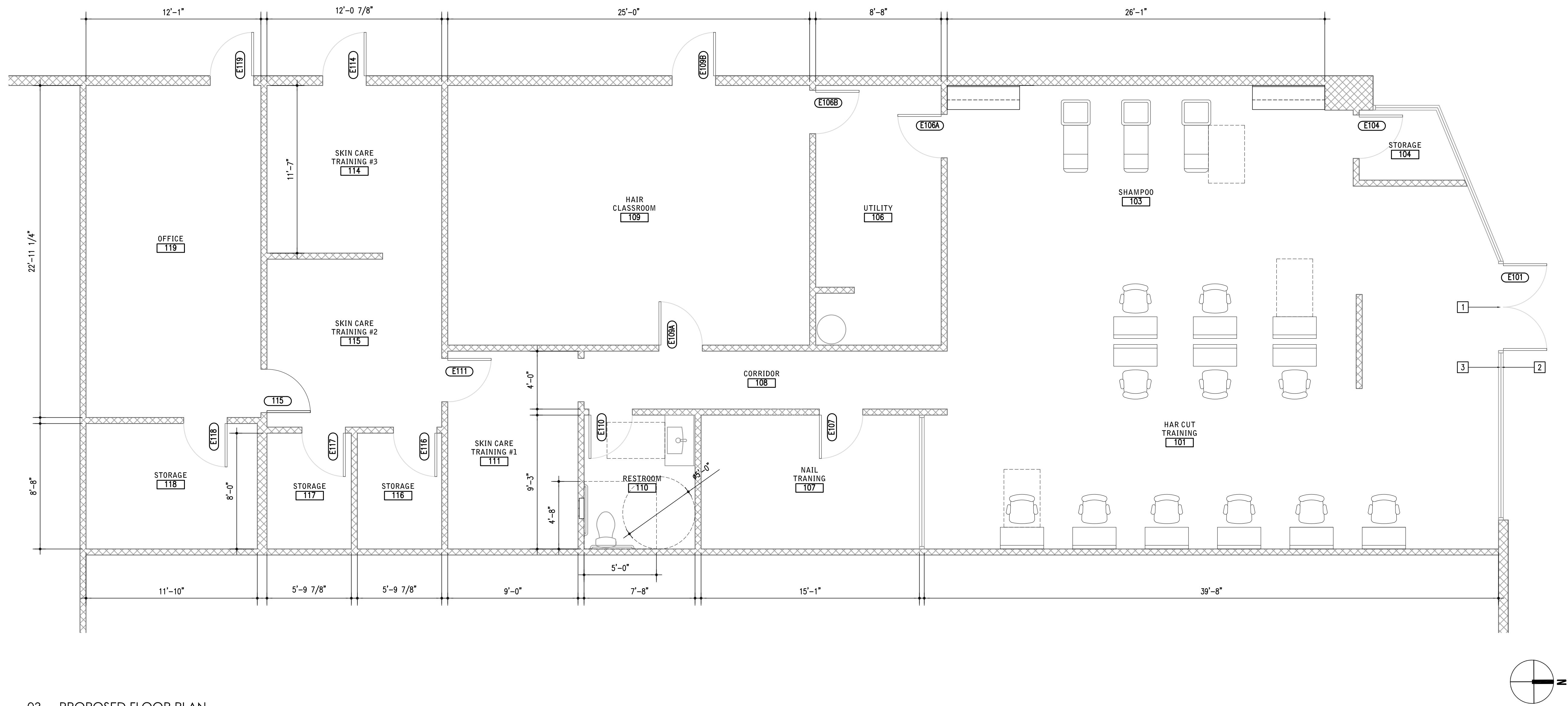


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EXISTING FLOOR PLAN

Sheet Number



03 PROPOSED FLOOR PLAN

REF. SCALE : 1/4" = 1'-0"

KEYNOTES

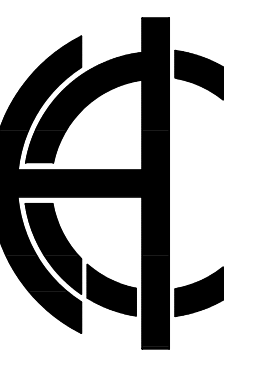
- 1 PROVIDE SIGNAGE READING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" ON HEADER FRAME OF THE DOOR.
- 2 ACCESSIBLE ENTRANCE SIGN SEE 10 A931
- 3 TACTILE EXIT SIGN SEE 11 A931

LEGEND

- XXXX DOOR NUMBER, SEE DOOR SCHEDULE
- EXISTING FRAME GLASS WALL PARTITION/WINDOW
- EXISTING WALL
- EXISTING HALF WALL
- ALIGN
- NEW INTERIOR PARTITION, SEE A901 - WALL TYPE A, U.O.N.
- NEW INTERIOR HALF WALL PARTITION, SEE 12/A901
- FULL HEIGHT DEMISING WALL PER 02 OR 04/A901
- WALL TYPE, SEE A901
- A 2-A/10B/C FIRE EXTINGUISHER, SEE 13/A901
- 30"x48" CLEAR FLOOR SPACE

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
2. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
3. USE CEMENTATIONS BACKER BOARDS AT ALL WALL TILE, AND USG AQUA-TOUGH AT ALL LOCATIONS WHERE MOISTURE WILL BE PRESENT.
4. PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACHED TO RUNNERS AS REQUIRED.
5. ALL INTERIOR GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
6. G.C. TO VERIFY CONDITIONS AND NOTIFY ARCHITECTS OF ANY CONFLICTS.
7. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 6" ON CENTER, U.O.N.
8. ALL ELECTRICAL OUTLETS NEAR SINKS ARE TO BE G.F.I. TYPE.
9. BEFORE STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. IF THERE ARE EXISTING BUILDING OBSTRUCTIONS AND CEILING FIXTURES, LEVEL CHANGES, SOFFITS, ETC., CANNOT BE INSTALLED WHERE INDICATED, OR IF THERE ARE ANY CONFLICTS OR DISCREPANCIES CONTRACTOR SHALL NOTIFY THE OWNER AND SHALL OBTAIN CLARIFICATION FROM THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY PART OF THE CEILING WORK OR RELATED WORK.
10. LOCATE ALL LIGHT FIXTURES, SPEAKERS, ACCESS PANELS, SPRINKLER HEADS, LIFE-SAFETY DEVICES, ETC., IN STRAIGHT LINES AND IN CENTER OF CEILING TILES U.O.N.
11. SEE 14/A901 VAPOR BARRIER REPAIR AT SLAB ON GRADE SAWCUT.
12. SEE 15/A931 FOR TOILET FIXTURE AND ACCESSORIES MOUNTING HEIGHTS.



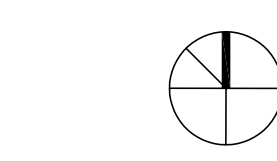
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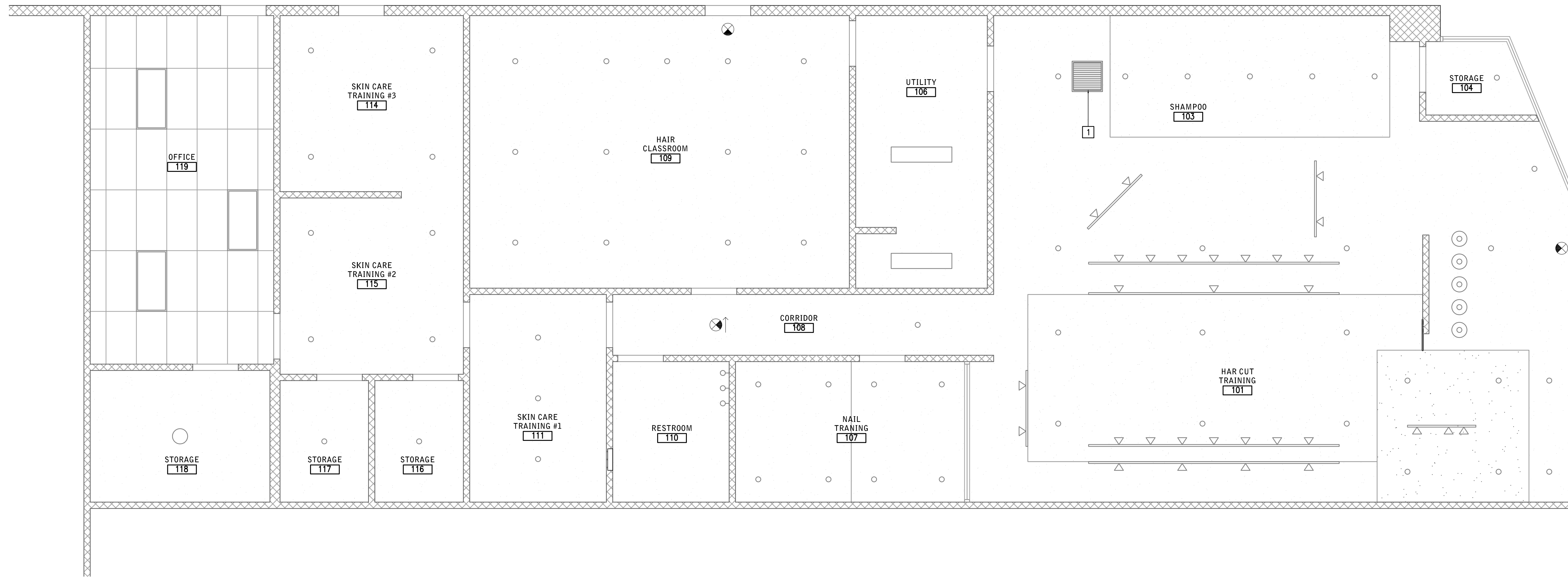
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PROPOSED FLOOR PLAN

Sheet Number



03 EXISTING REFLECTED CEILING PLAN (FOR REFERENCE ONLY)

REF. SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 EXISTING 3,000 CFM MECHANICAL EXHAUST
- 2
- 3

X'-X" CEILING HEIGHT. EXISTING CEILING HEIGHT TO REMAIN U.O.N.

- EXISTING ILLUMINATED EXIT SIGN, EDGE LIT, RED
- EXISTING ILLUMINATED DIRECTIONAL EXIT SIGN, EDGE LIT, RED
- EXISTING FRAMED HARDOLD CEILING, PAINT TO MATCH WALL.
- EXISTING 24"x48" SUSPENDED CEILING GRID
- EXISTING 2'x4' LED RECESSED LIGHT FIXTURE TO REMAIN
- EXISTING 1'x4' LED RECESSED LIGHT FIXTURE TO REMAIN
- EXISTING LED DOWNLIGHT FIXTURE TO REMAIN
- EXISTING LED SUSPENDED LIGHT FIXTURE TO REMAIN
- EXISTING LED SURFACE LIGHT FIXTURE TO REMAIN
- EXISTING LED TRACK LIGHT FIXTURE TO REMAIN

LEGEND

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
2. INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
3. USE CEMENTATIONS BACKER BOARDS AT ALL WALL TILE, AND USG AQUA-TOUGH AT ALL LOCATIONS WHERE MOISTURE WILL BE PRESENT.
4. PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACHED TO RUNNERS AS REQUIRED.
5. ALL INTERIOR GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
6. G.C. TO VERIFY CONDITIONS AND NOTIFY ARCHITECTS OF ANY CONFLICTS.
7. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 6" ON CENTER, U.O.N.
8. ALL ELECTRICAL OUTLETS NEAR SINKS ARE TO BE G.F.I. TYPE.
9. BEFORE STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. IF THERE ARE EXISTING BUILDING OBSTRUCTIONS AND CEILING FIXTURES, LEVEL CHANGES, SOFFITS, ETC., CANNOT BE INSTALLED WHERE INDICATED, OR IF THERE ARE ANY CONFLICTS OR DISCREPANCIES CONTRACTOR SHALL NOTIFY THE OWNER AND SHALL OBTAIN CLARIFICATION FROM THE OWNER IN WRITING BEFORE PROCEEDING WITH ANY PART OF THE CEILING WORK OR RELATED WORK.
10. LOCATE ALL LIGHT FIXTURES, SPEAKERS, ACCESS PANELS, SPRINKLER HEADS, LIFE-SAFETY DEVICES, ETC., IN STRAIGHT LINES AND IN CENTER OF CEILING TILES U.O.N.

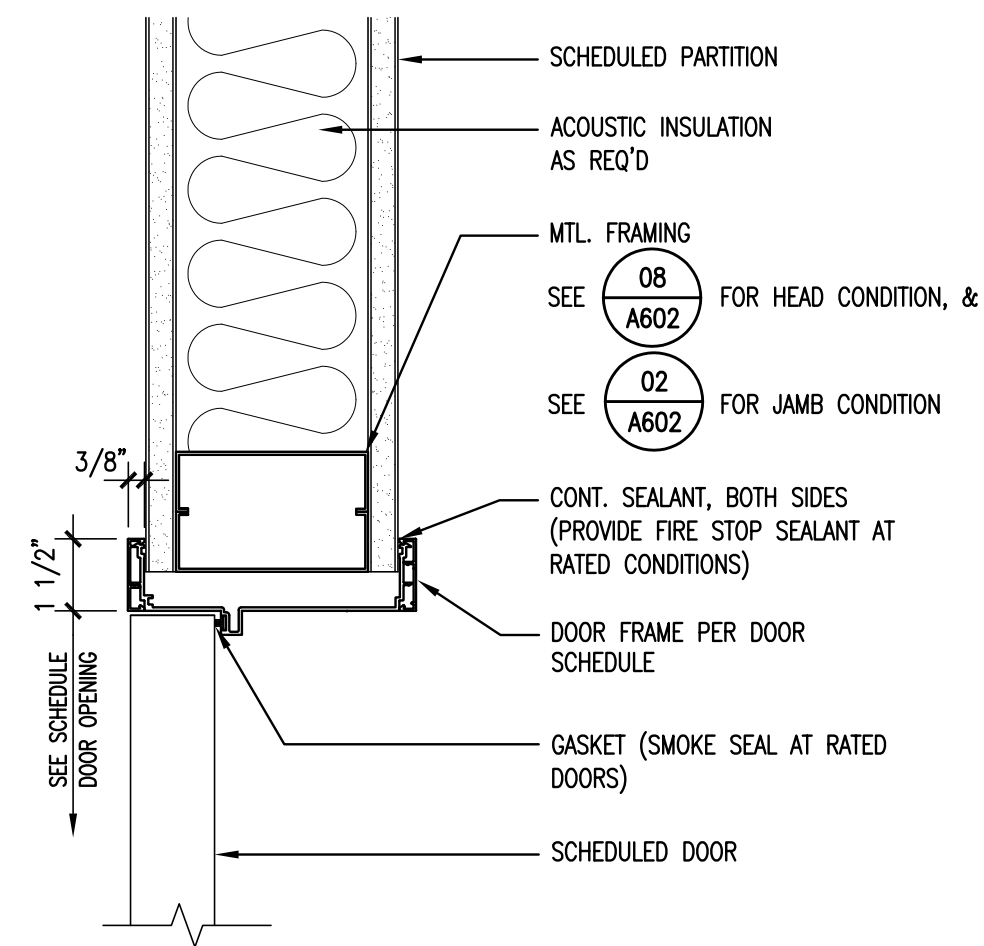


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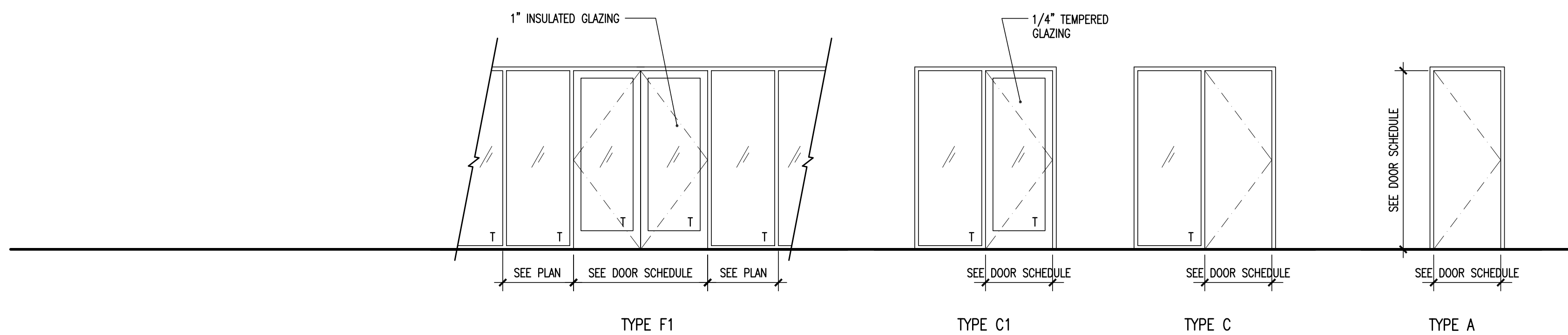
PROPOSED REFLECTED CEILING PLAN



10 TYP. INTERIOR DOOR HEAD/JAMB

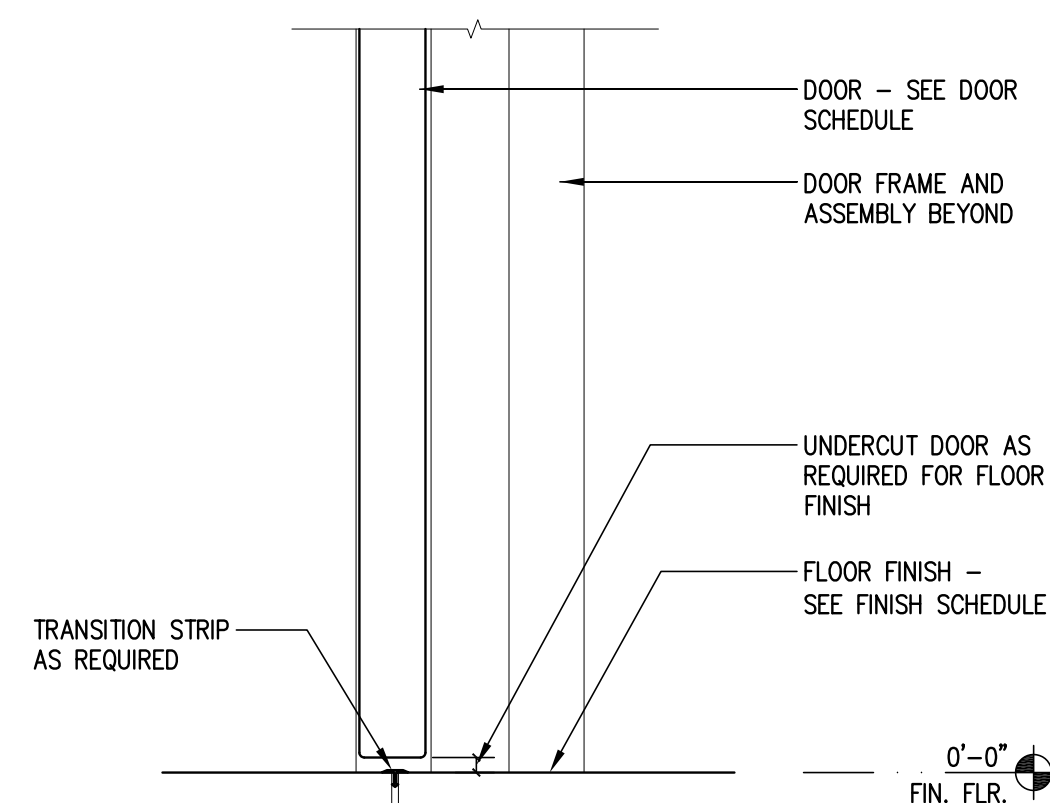
REF. SCALE: 3" = 1'-0"

ASSEMBLY NO.	TYPE	DOOR					FRAME		DETAILS				FIRE RATING	HARDWARE SET	REMARKS
		SIZE			MATERIAL	FINISH	MATERIAL	FINISH	JAMB	JAMB	HEAD	SILL			
		WIDTH	HEIGHT	THICK											
E101	F1	6'-0"	7'-0"	1 1/2"	GL	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E104	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E106A	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E106B	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E107	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E109A	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E109B	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E110	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E111	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E114	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
115	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	10	10	10	12	-	E	
E116	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E117	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E118	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE
E119	A	3'-0"	7'-0"	1 1/2"	SC	P	AL	P	-	-	-	-	-	-	EXISTING TO REMAIN WITH LEVER TYPE DOOR HANDLE



02 DOOR TYPES

REF. SCALE: 1/4" = 1'-0"



12 INT. THRESHOLD

REF. SCALE: 3" = 1'-0"

**DOOR FRAME:**

ALPHA ALUMINUM  
CLR ANODIZED ALUM W/BLK VINYL SEALS OR SILICONE AS REQUIRED.

**DOOR SCHEDULE ABBREVIATIONS:**

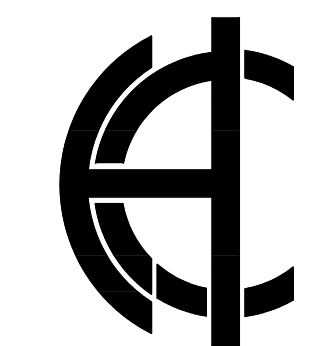
SC SOLID CORE WOOD  
 AL ALUMINUM  
 HM HOLLOW METAL  
 P PAINT  
 WN WOOD VENEER  
 CLR. CLEAR ANODIZED

**NOTE:**

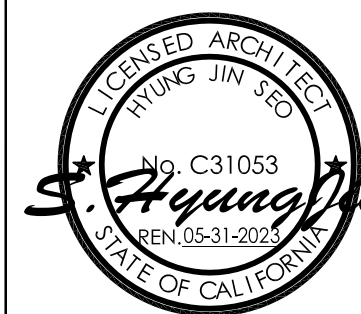
- ALL DOOR SIZES ARE JAMB (FRAME) OPENING SIZE
- ALL UNDERCUT DOORS FOR VARYING CARPET THICKNESS RUBBER FLOORING ETC. SHALL BE VERIFIED AND PROPERLY COORDINATED
- COORDINATE ALL DOOR AND DOOR DETAILS TO PROVIDE ADEQUATE CLEARANCE AND FRAME REINFORCEMENT FOR HARDWARE TYPES. (REFER TO SPECS FOR HARDWARE MOUNTING TYPES).
- TYPICAL DOOR BEVEL TO BE 1/8" IN 2" U.N.O. BY HARDWARE TEMPLATE REQUIREMENTS.
- ADJUST DOOR FRAME OPENING SIZES AS NECESSARY TO REFLECT VARIATIONS IN THE EXISTING STRUCTURAL SLAB AND VARYING THICKNESSES OF THE FLOOR FINISHES.
- ALL DOOR HARDWARE SHALL BE LEVER TYPE U.N.O.
- ALL PAINTED DOORS SHALL MATCH COLOR AND SHEEN OF ADJACENT WALL
- ALL WOOD VENEER DOORS SHALL HAVE BEECH VENEER UNSTEAMED
- FOR TYPICAL DOOR CLEARANCE, SEE DETAIL 9/-
- FOR SWITCH AND DEVICE ALIGNMENT, SEE DETAIL 10/-
- FOR INTERIOR FLOOR TRANSITION, SEE DETAIL 8/-

01 DOOR NOTES

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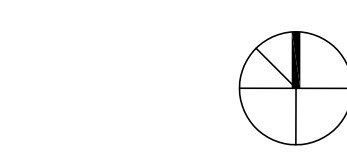
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Date	Description	Revision

Date	Description	Revision
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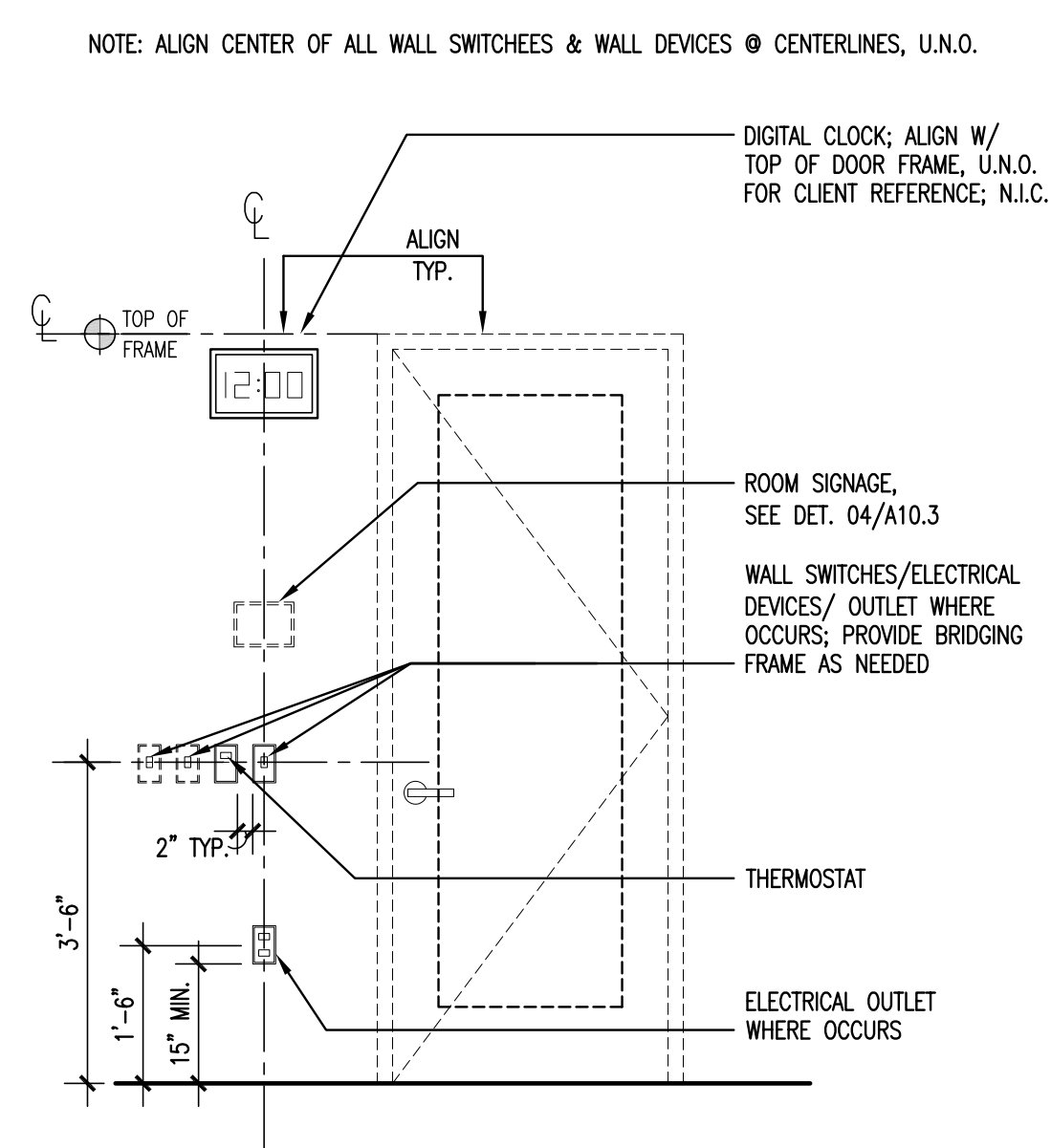
DOOR SCHEDULE AND DETAILS

Sheet Number

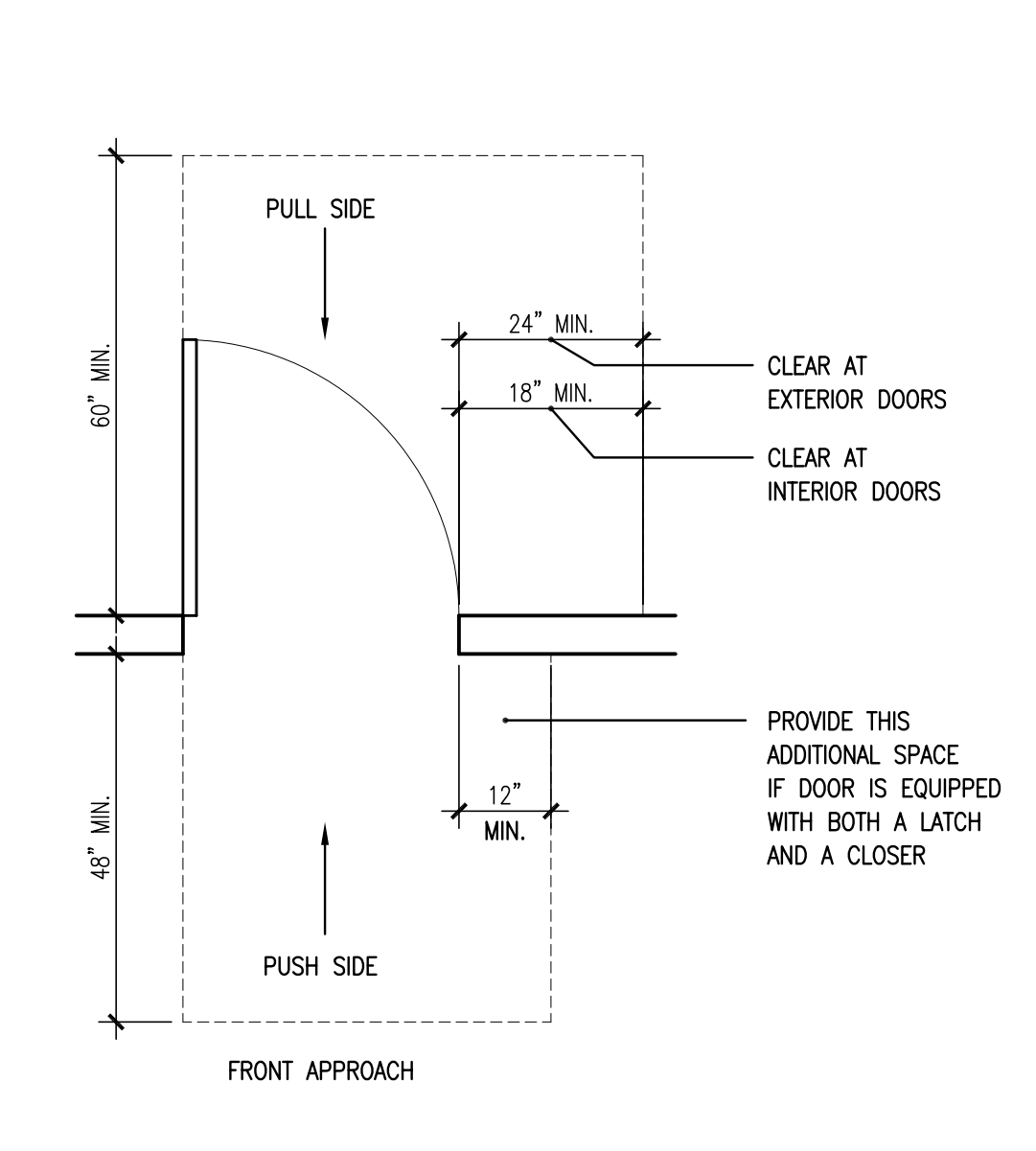
TYPE	DESCRIPTION	NOTES
A	INTERIOR PASSAGE: SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (ND10S-SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626.	
B	INTERIOR PAIR PASSAGE: DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (ND10S-SPARTA) X 626 (CYLINDRICAL). HINGES: (4) PR. HAGER (4 1/2" X 4 1/2") 626. STOPS: (2) TRIMCO 1211 X 626. ASTRAGAL: PEMKO 355CV 108"	
E	INTERIOR LOCKSET: SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626.	
F	INTERIOR PAIR LOCKSET: DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (4) PR. HAGER (4 1/2" X 4 1/2") 626. STOPS: (2) TRIMCO 1211 X 626. ASTRAGAL: PEMKO 355CV 108"	
J	INTERIOR PRIVACY LOCKSET/ CLOSER: SINGLE DOOR INTERIOR SCHLAGE "L" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626. CLOSER: LCN 1461 FC.	DOOR STOP AND KICK PLATE
K	INTERIOR PANIC HARDWARE: VON DUPRIN EXIT DEVICE 98L-306L X 17 626 @ 36" REF. HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. CYLINDER: SCH 20-022 626. CLOSER: LCN 1461-S-CUSH-FC.	INSTALL AT BUILDING STD. PSWO SOLID CORE DOOR(S) WHERE NOTED.
N	INTERIOR LOCKSET/ CLOSER: SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626. CLOSER: LCN 1461 FC.	
O	INTERIOR PASSAGE LATCHSET/ CLOSER: SINGLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (ND10S-SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER BB 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626. CLOSER: LCN 1461 FC.	
Q	SUITE ENTRY/ CARD ACCESS: SINGLE DOOR PREFIT FOR "L" SERIES. MORTISE ELECTRIC LOCKSET AND ELECTRIC HINGE BY OTHERS. HINGES: (2) PR. HAGER BB1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626. CLOSER: LCN 1461 FC. SEAL: PEMKO HSS2000.	BLANK EXISTING LOCK PREPS AND REPREP EXISTING DOOR FOR NEW HARDWARE G.C. TO PREDRILL DOORS FOR ELECTRIFIED HARDWARE BY SECURITY VENDOR.
R	SUITE ENTRY/ CARD ACCESS: PAIR DOOR PREFIT FOR ACCURATE WORKING TRIM AND CYLINDER. HINGES: (4) PR. HAGER BB1279 (4 1/2" X 4 1/2") 626. STOPS: (2) TRIMCO 1211 X 626. CLOSER: LCN 1461 FC. ASTRAGAL: PEMKO 355CV 108". SEALS: PEMKO HSS2000.	MANUAL FLUSH BOLTS DCI 780-F W/EXT. ROD DUST PROOF STRIKE, TRIMCO 3910 X 626.
S	SUITE ENTRY GLASS DOOR/ PANIC/CARD READER: FRAMELESS 1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS. COLOR TO MATCH EXISTING. PANIC: EG100-A ROUND BAR ADJUSTABLE OVERHEAD CONCEALED CLOSER.	INCLUDE THRESHOLD AND DOOR SEAL. PROVIDE SCHLAGE KEY CYLINDER TO MATCH KEY WAY. PANIC AND CARD READER MUST COMPLY WITH CBC 1008.1.9.8.
T	SUITE ENTRY PAIR GLASS DOOR/PANIC/ CARD READER: FRAMELESS 1/2" TEMPERED PAIR GLASS WITH FULL TOP AND BOTTOM RAILS. COLOR TO MATCH EXISTING. PANIC: EG100-A ROUND BAR ADJUSTABLE OVERHEAD CONCEALED CLOSER.	INCLUDE THRESHOLD AND DOOR SEAL. PROVIDE SCHLAGE KEY CYLINDER TO MATCH KEY WAY. PANIC AND CARD READER MUST COMPLY WITH CBC 1008.1.9.8.
U	INTERIOR PAIR PASSAGE/ CLOSER: DOUBLE DOOR INTERIOR SCHLAGE "ND" SERIES. SPARTA PASSAGE (ND10S-SPARTA) X 626 (CYLINDRICAL). HINGES: (4) PR. HAGER (4 1/2" X 4 1/2") 626. STOPS: (2) TRIMCO 1211 X 626. CLOSER: LCN 1461 FC. ASTRAGAL: PEMKO 355CV 108"	
V	EXTERIOR PANIC/ CLOSER: 1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS. PANIC: VON DUPRIN 98/99 SERIES. CLOSER: LCN 1461 FC.	
W	SUITE ENTRY GLASS DOOR: FRAMELESS 1/2" TEMPERED SINGLE GLASS WITH FULL TOP AND BOTTOM RAILS. CLOSER: ADJUSTABLE OVERHEAD CONCEALED CLOSER.	MANUAL FLUSH BOLTS DCI 780-F W/EXT. ROD DUST PROOF STRIKE, TRIMCO 3910 X 626.
X	EXTERIOR LOCKSET/ CLOSER: SINGLE DOOR EXTERIOR SCHLAGE "L" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (2) PR. HAGER 1279 (4 1/2" X 4 1/2") 626. STOPS: TRIMCO 1211 X 626. CLOSER: LCN 1461 FC.	MANUAL FLUSH BOLTS DCI 780-F INCLUDE THRESHOLD AND DOOR SEAL. PROVIDE SCHLAGE KEY CYLINDER TO MATCH KEYWAY.
Y	EXTERIOR LOCKSET/ CLOSER: DOUBLE DOOR EXTERIOR SCHLAGE "L" SERIES. SPARTA OFFICE LOCKSET (ND53PD SPARTA) X 626 (CYLINDRICAL). HINGES: (4) PR. HAGER (4 1/2" X 4 1/2") 626. STOPS: (2) TRIMCO 1211 X 626. CLOSER: LCN 1461 FC. ASTRAGAL: PEMKO 355CV 108"	MANUAL FLUSH BOLTS DCI 780-F INCLUDE THRESHOLD AND DOOR SEAL. PROVIDE SCHLAGE KEY CYLINDER TO MATCH KEYWAY.

- HARDWARE NOTES:**
- THE FORCE FOR PUSHING OR PULLING TO OPEN INTERIOR SWINGING DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS.
  - FOR OTHER SWINGING DOORS THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE.
  - THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30 POUND FORCE.
  - THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15 POUND FORCE.
- SECURITY NOTES:**
- ALL DOORS WITH SECURITY ACCESS NEED TO BE IDENTIFIED BY OWNER & HARDWARE REQUIREMENTS COORDINATED WITH G.C.
  - OWNER'S APPROVAL OF SECURITY DEVICE TYPE AND COLOR IS REQUIRED PRIOR TO INSTALLATION.
  - WHERE PANIC HARDWARE IS PLACED ON OPPOSITE SIDE OF CARD READER, HARDWARE MUST COMPLY WITH CBC CODE 1008.1.9.8.
  - FURNISH GRAND MASTER KEY TO OWNER.
  - ALL NEW EXTERIOR HM DOOR TO HAVE THRESHOLD, RUBBER SEAL AROUND DOOR FRAME, AND DOOR BOTTOM SWEEP.

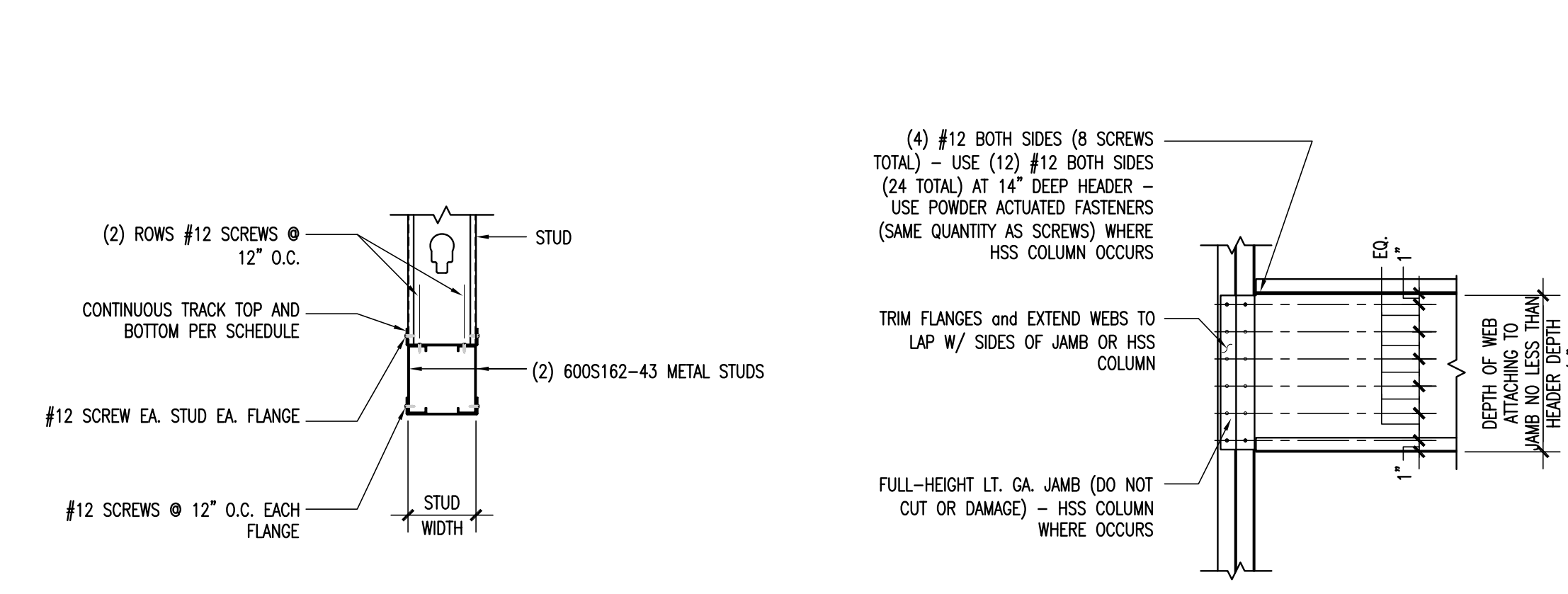
**HARDWARE SCHEDULE**  
REF. 14 SCALE: NO SCALE



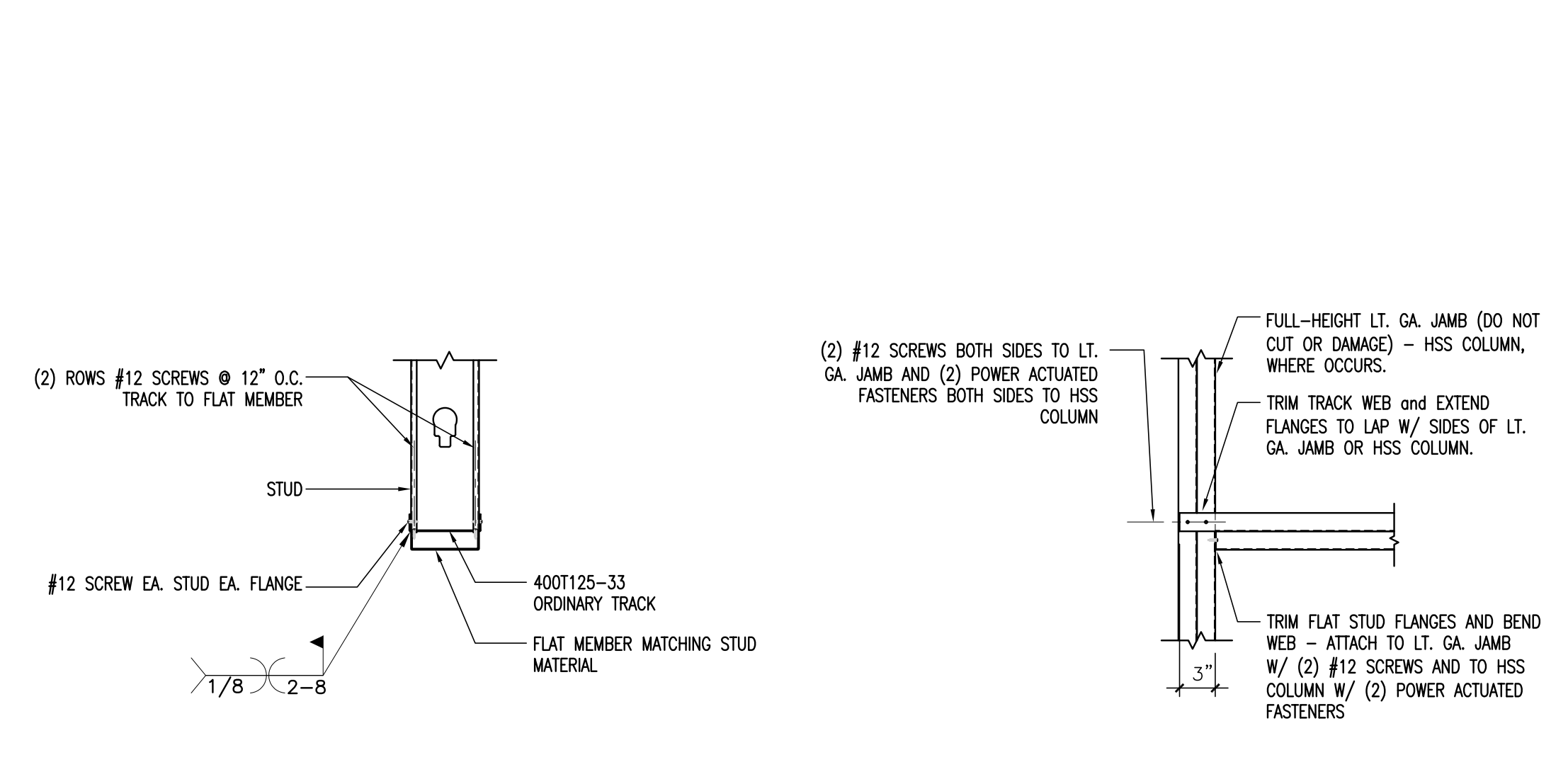
**SWITCH & DEVICE ALIGNMENTS**  
REF. SCALE: 1/2" = 1'-0"



**TYPICAL CLEARANCE @ DOORS**  
REF. SCALE: 1/2" = 1'-0"



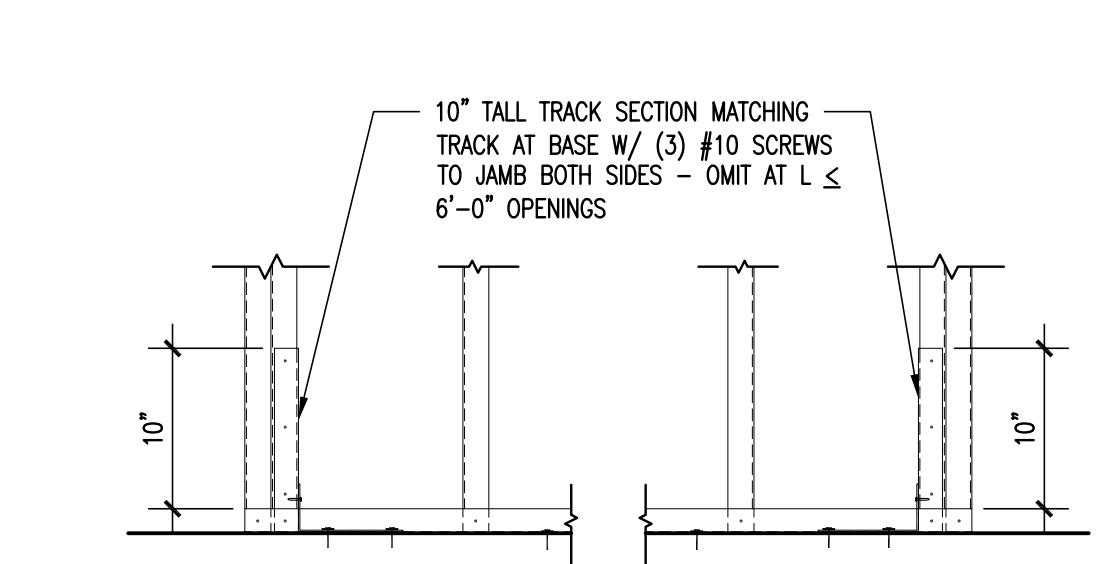
**08 TYPICAL STUD WALL HEADER CONSTRUCTION AT OPENINGS**  
REF. SCALE: 1" = 1'-0"



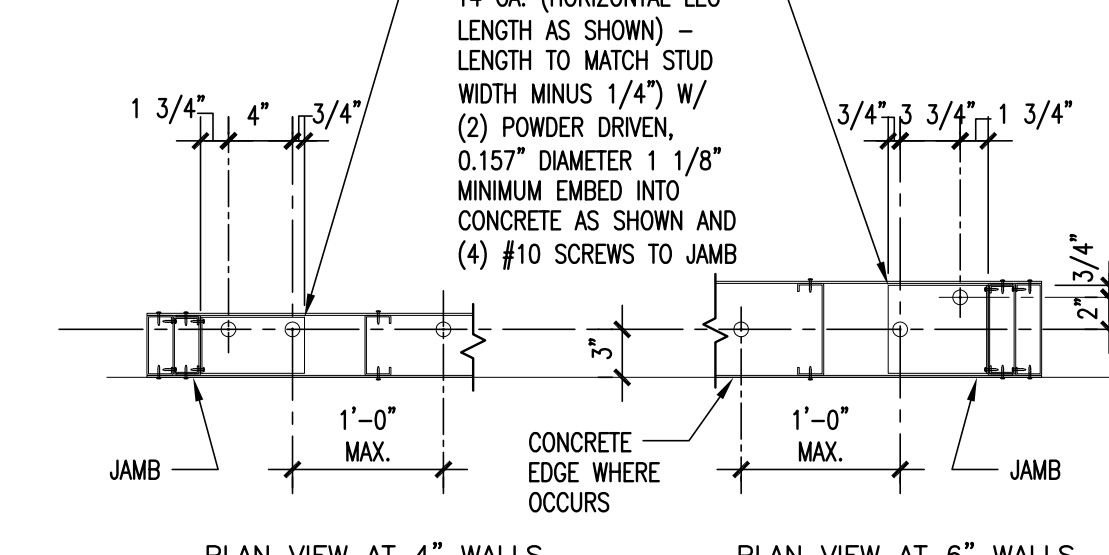
**02 TYP. STUD WALL JAMB OPENINGS**  
REF. SCALE: 1" = 1'-0"



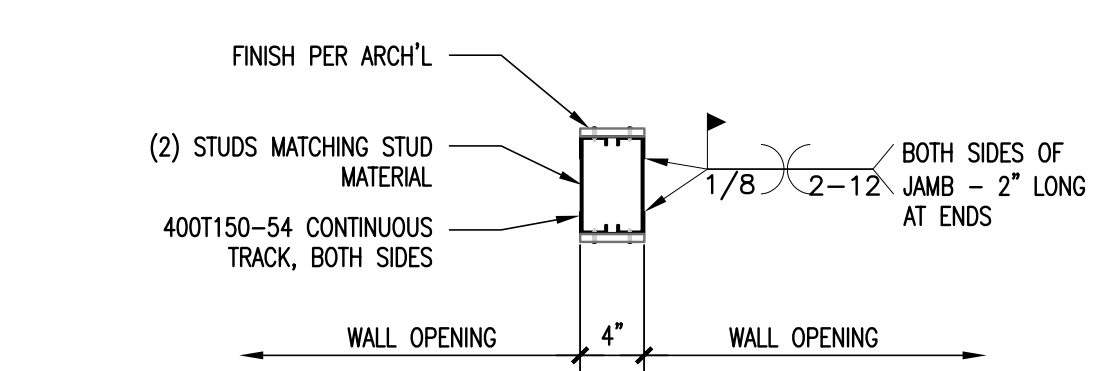
**09 TYP. STUD WALL SILL OPENINGS**  
REF. SCALE: 1" = 1'-0"



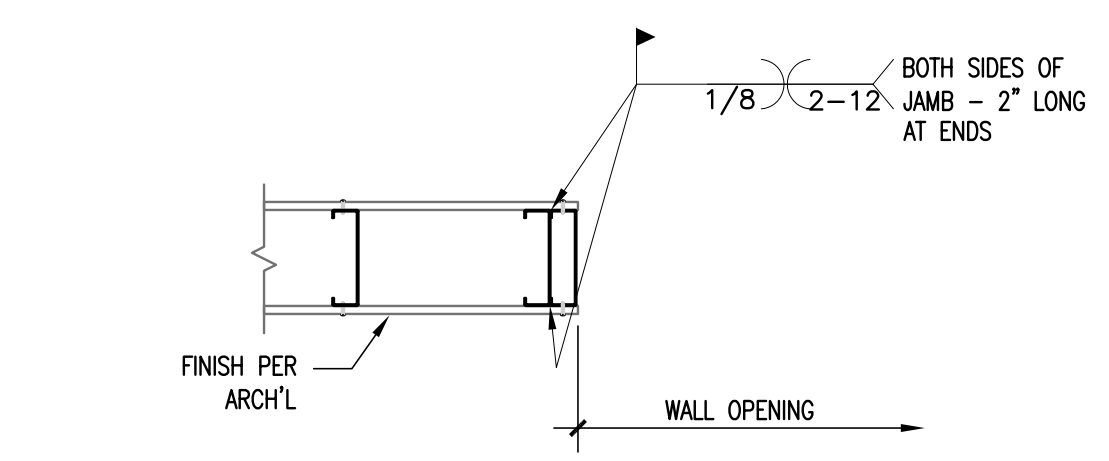
**ELEVATION AT 4" WALLS AND SMALLER**



**ELEVATION AT 6" WALLS AND LARGER**



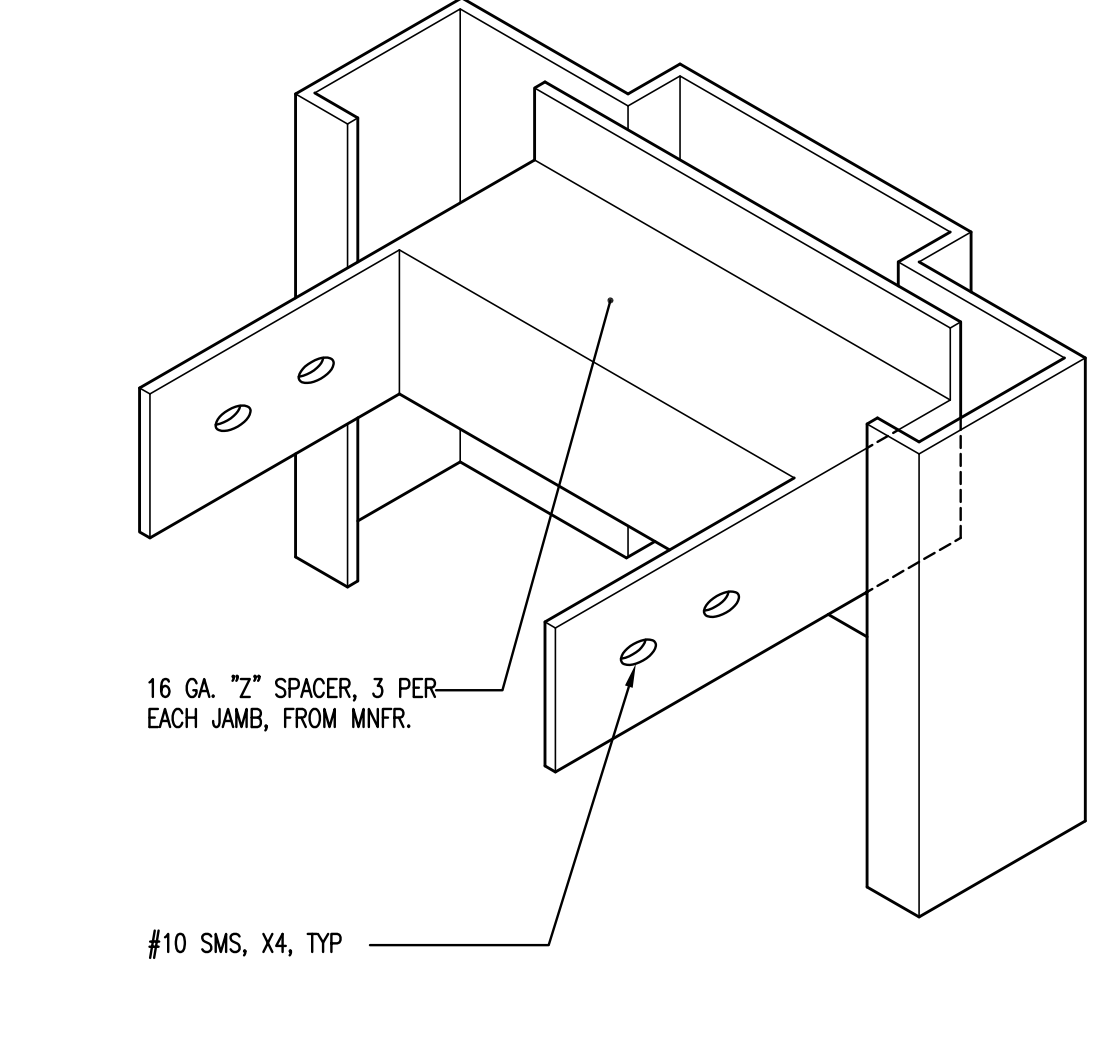
**JAMB CONNECTION AT BASE**



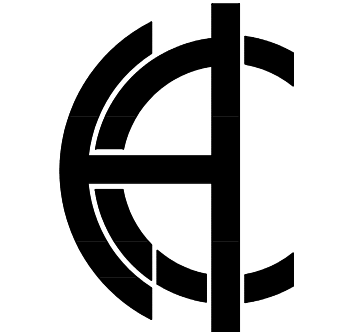
**BOX JAMB SECTION**



**FRONT-TO-BACK JAMB SECTION**



**03 TYPICAL FRAME ANCHOR**  
REF. SCALE: 3" = 1'-0"



HACE INC. 1303 W. Valencia Dr. Fullerton, CA 92833 714-992-9732 E: hce@hacenc.com



R17 Beauty College  
9836 Garden Grove Blvd  
Garden Grove, CA 92844

Revision	Description	Date

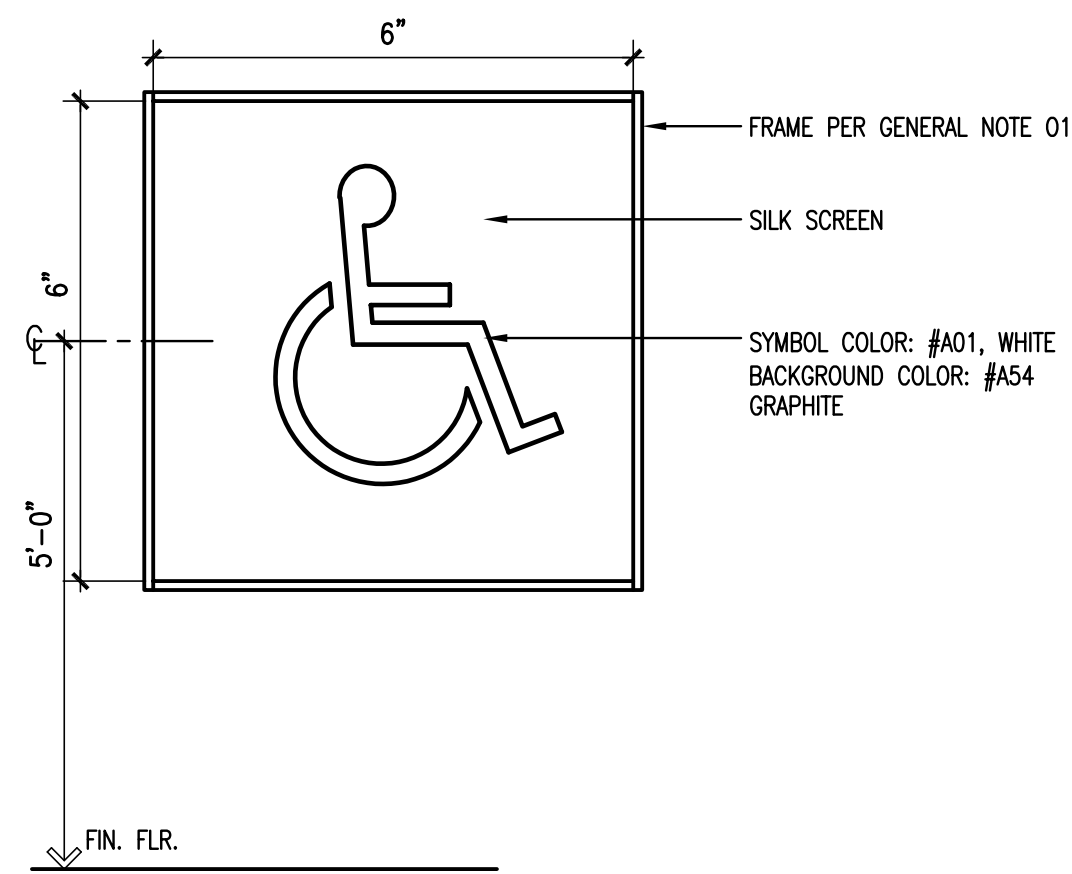
Revision	Description	Date

Revision	Description	Date

Date	Drawn By

Project Numbers	Checked By
202207.03	

Sheet Number

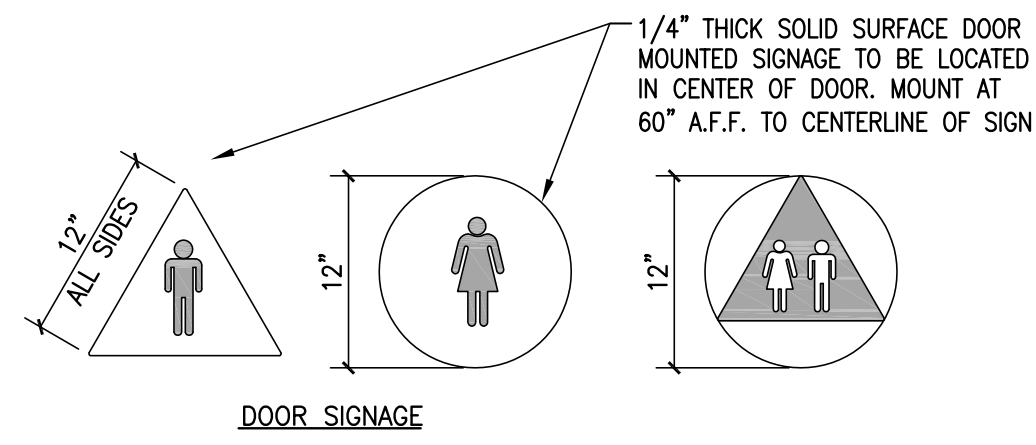


**NOTES:**

- ALL BLDG. ENTRANCES THAT ARE ACCESSIBLE TO & USABLE BY PHYSICALLY DISABLED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN & ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONE APPROACHING PEDESTRIAN WAYS.
- CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- ALL MECHANICAL ATTACHMENTS TO BE CONCEALED

**10 ACCESSIBLE SIGN**

REF. SCALE : NOT TO SCALE



1 1/4" THICK SOLID SURFACE DOOR MOUNTED SIGNAGE TO BE LOCATED IN CENTER OF DOOR. MOUNT AT 60" A.F.F. TO CENTERLINE OF SIGN

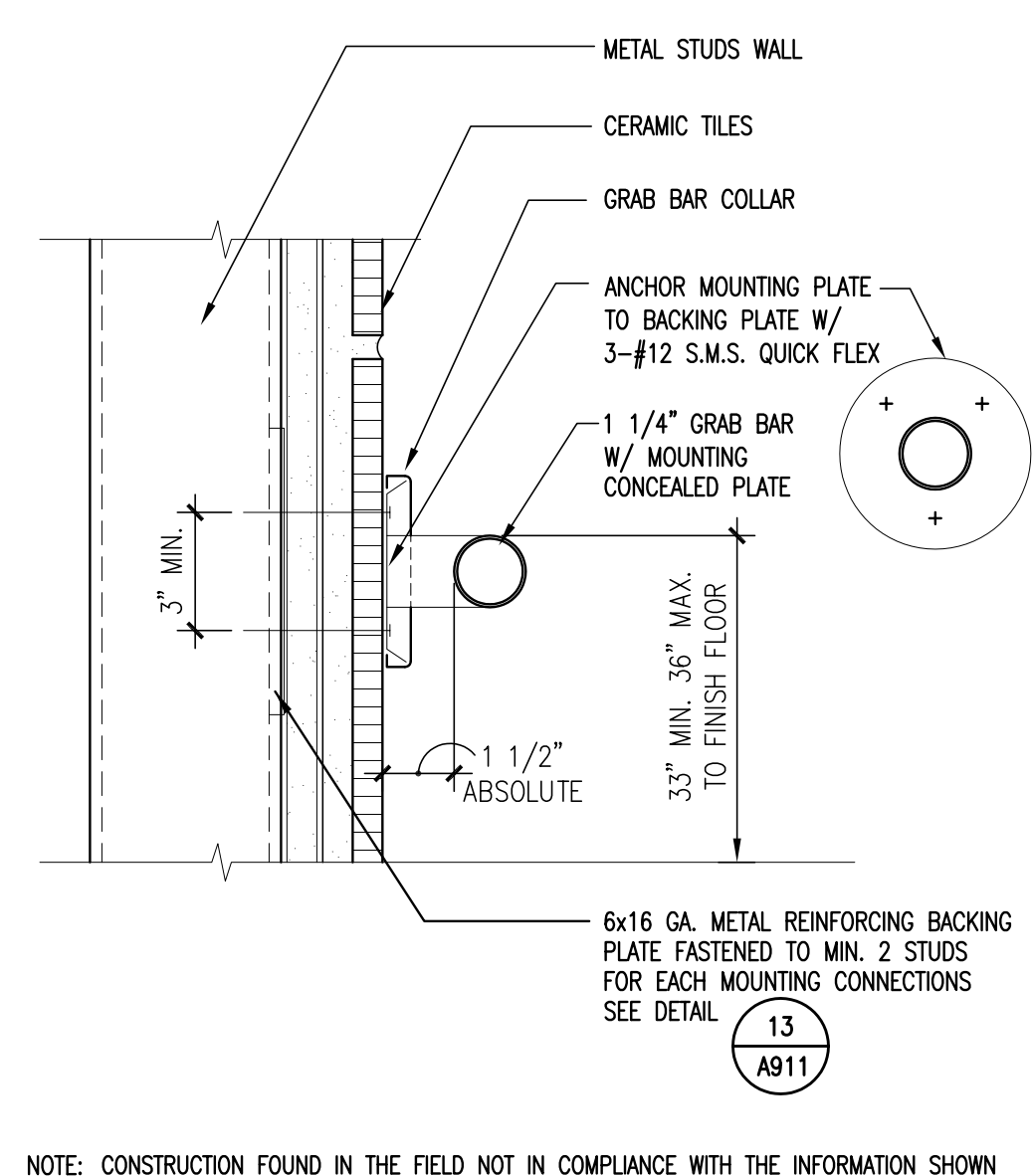
WALL-MOUNTED SIGNAGE TO BE LOCATED ON LATCH SIDE OF DOOR, CLEAR OF DOOR-SWING. MOUNT AT 60" A.F.F. TO CENTERLINE OF SIGN

IF RESTROOM IS NOT ACCESSIBLE A NOTE DIRECTING TO THE NEAREST ACCESSIBLE RESTROOM MUST BE PRESENT.

SANS-SERIF UPPERCASE CHARACTERS, RAISED 1/32" CORRESPONDING GRADE II BRAILLE

**07 RESTROOM SIGNAGE**

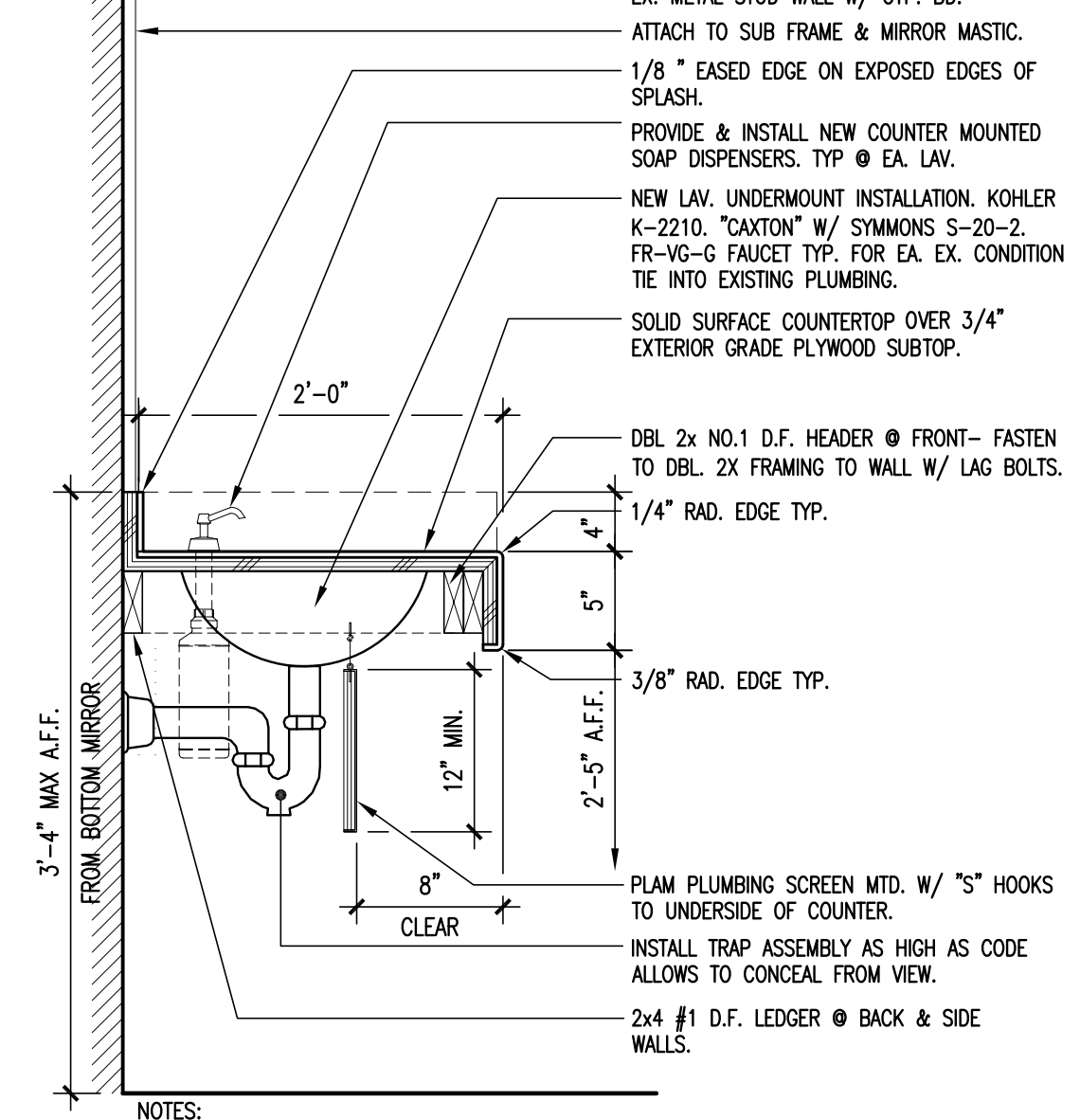
REF. SCALE : 1"=1'-0"



NOTE: CONSTRUCTION FOUND IN THE FIELD NOT IN COMPLIANCE WITH THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE REQUIRED TO BE MADE TO COMPLY.

**04 GRAB BAR @ METAL STUD**

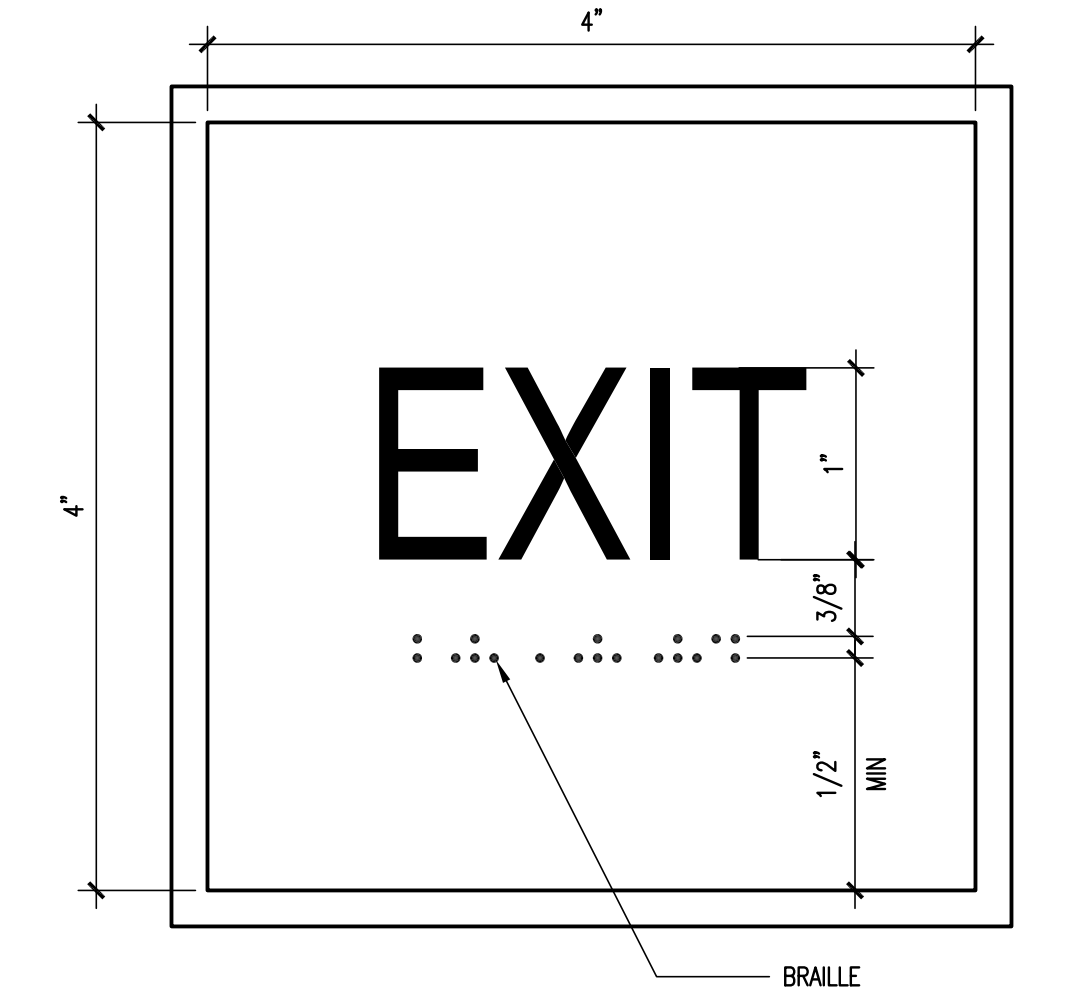
REF. SCALE : 3"=1'-0"



NOTES:  
1. INSTALL SECURE BACKING AT ALL THREE SIDES OF COUNTER.  
2. INSULATE ALL EXPOSED HOT WATER AND DRAIN LINES UNDER SINK. SEE PLUMBING.

**01 COUNTER SECTION**

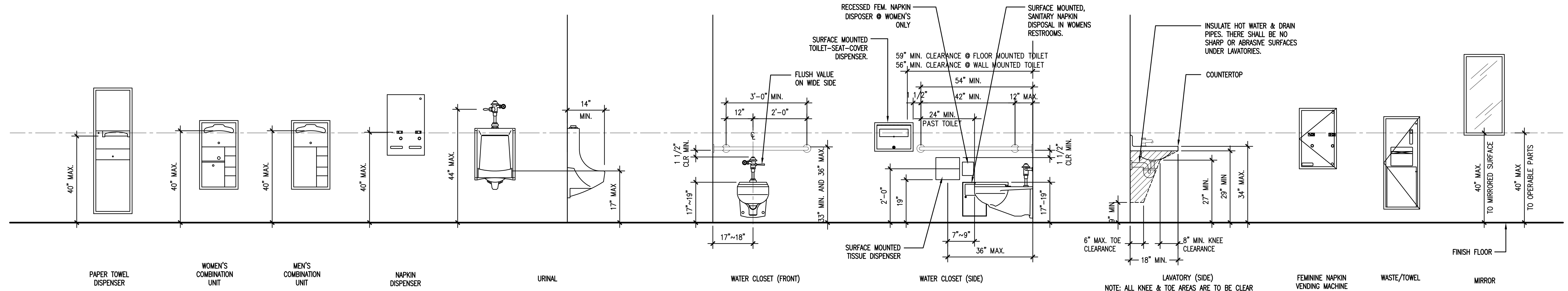
REF. SCALE : 1"=1'-0"



TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST. CHARACTERS SHALL BE SANS SERIF UPPERCASE ACCOMPANIED BY GRADE 2 BRAILLE.

**11 EXIT (SIGN TYPE "A")**

REF. SCALE : FULL



NOTE: CONSTRUCTION FOUND IN THE FIELD NOT IN COMPLIANCE WITH THE INFORMATION SHOWN ON THE APPROVED PLANS SHALL BE REQUIRED TO BE MADE TO COMPLY.

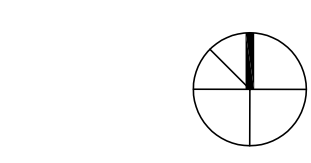
**15 RESTROOM MOUNTING HEIGHTS**

REF. SCALE : 1/2"=1'-0"

Revision	Description	Date

Revision	Description	Date

Key Plan N.T.S.



Date	Drawn By
Project Number	Checked By
202207.03	
Sheet Title	



DECISION NO. 1836-23

A DECISION OF THE ZONING ADMINISTRATOR OF THE CITY OF GARDEN GROVE APPROVING CONDITIONAL USE PERMIT NO. CUP-234-2023 FOR PROPERTY LOCATED AT 9836 GARDEN GROVE BOULEVARD, ASSESSOR'S PARCEL NO. 098-062-24.

BE IT RESOLVED that the Zoning Administrator of the City of Garden Grove does hereby approve Conditional Use Permit No. CUP-234-2023 for a property located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard, Assessor's Parcel No. 098-062-24.

BE IT FURTHER RESOLVED in the matter of Conditional Use Permit No. CUP-234-2023, the Zoning Administrator of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Kyunghee Choi Park for RT7 Beauty School, with authorization of the property owner, Hwa Sook Junn.
2. The applicant is requesting approval of a Conditional Use Permit to allow the operation of a new vocational beauty school, RT7 Beauty School, with a maximum capacity of three (3) instructors, and thirty-six (36) students within an existing 3,081 square foot tenant space.
3. Pursuant to the California Environmental Quality Act ("CEQA"), the Zoning Administrator hereby determines that the proposed project is categorically exempt from the CEQA pursuant to Section 15301, Existing Facilities, of the CEQA Guidelines (14 Cal. Code Regs., Section §15301).
4. The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The subject property is currently improved with a multi-tenant shopping center.
5. Existing land use, zoning, and General Plan designation of property within the vicinity of the subject property have been reviewed.
6. Report submitted by City Staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on January 26, 2023, and all interested persons were given an opportunity to be heard.
8. The Zoning Administrator gave due and careful consideration to the matter during its meeting of January 26, 2023 and

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Zoning Administrator, as required under Municipal Code Section 9.32.030 (Conditional Use Permits), are as follows:

FACTS:

The subject site is developed with a multi-tenant commercial center, Hanmi Plaza, located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street, at 9836 Garden Grove Boulevard. The subject property has a General Plan Land Use Designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The property is adjacent to GGMU-3 zoned properties to the north, south, east, and west.

The RT7 Beauty School has a total floor area of 3,081 square feet, within the existing salon space. With the tenant space previously being used for a salon, the interior improvements are minimal, and only related to administrative office areas. The school's proposed floor plan consists of a hair washing and cutting area, a classroom for nail care, three (3) areas for skin care training, a classroom for hair care, an administrative office, a restroom, a utility room, and storage rooms.

Students will receive training in hair, skin, and nail care. No body massage, or other physical manipulation of the body will occur at the business. RT7 Beauty School will operate Monday to Saturday, and closed Sunday. Classes will be held in three sessions throughout the day. The morning session will be held from 9:30 a.m. to 12:00 p.m., afternoon sessions from 1:00 p.m. to 5:30 p.m., and the evening sessions from 5:30 p.m. to 9:30 p.m.

The Community and Economic Development Department have reviewed the request and are supporting the proposal. All appropriate conditions of approval for a "Business, Trade School" will apply.

FINDINGS AND REASONS:

1. That the proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

The subject property has a General Plan Land Use designation of RC3 (Residential/Commercial Mixed Use 3), and is zoned GGMU-3 (Garden Grove Boulevard Mixed Use 3). The Residential/Commercial Mixed Use 3 designation is intended to provide a mix of residential and commercial uses. The GGMU-3 zone is intended to integrate developments either on a single development site or as complementary uses within a district, such as commercial uses that provide goods and services for adjacent or integrated residential units. In particular, the subject proposal is consistent with the following General Plan Goals, Policies, and Implementation Measures:

Policy LU-1.4 *Encourage a wide variety of retail and commercial services, such as restaurants and cultural arts / entertainment, in appropriate locations.* The subject beauty school is located along Garden Grove Boulevard, in an area already developed with a variety of commercial businesses. The subject use can further enhance the commercial district along Garden Grove Boulevard. Particularly, the school can serve the local clientele in the nearby residential neighborhoods, as well as visitors from further destinations.

Goal LU-4 *Uses compatible with one another.* The proposed use is a vocational beauty school with training in hair, nail, and skin care. The subject tenant space has been in operation as a beauty salon since 2010. The same business owners are now intending to operate as a beauty school, and not a retail salon. Directly adjacent to the subject use are retail, restaurant, and other personal service uses. Business and trade school uses are compatible with these other uses, and other lighter, commercial uses. Furthermore, provided the conditions of approval are adhered to for the life of the project, the use will be compatible with other commercial uses.

Goal LU-5 *Economically viable, vital, and attractive commercial centers throughout the City that serve the needs of the community.* Business and trade schools, and beauty schools more specifically, can enhance the vitality of the City's commercial centers. The proposed Conditional Use Permit would allow for the conversion of an existing beauty salon into a beauty school. A beauty school can enrich the community by providing another unique opportunity for vocational education and training.

Policy LU-6.2 *Encourage a mix of retail and commercial services along the major corridors and in centers to meet the community's needs.* The subject tenant space is located in a shopping center on the south side of Garden Grove Boulevard, a major corridor. The subject request for a Conditional Use Permit would allow for the conversion of an existing retail beauty salon into a vocational beauty school. With the subject request, the proposed use will further enhance the variety of commercial uses already in the area. By approving the subject request, the shopping center, and the commercial district centered along Garden Grove Boulevard, would provide an even greater variety of commercial services to meet the community's needs.

Goal ED-2 *The City must attract new businesses, while supporting and assisting those already located within Garden Grove.* The proposed Conditional Use Permit will allow for the transition of an existing retail beauty salon to a vocational beauty trade school. The Conditional Use Permit would allow for the business to market towards a different clientele, and a different business model altogether. Should the Conditional Use Permit be approved, the City is providing an existing business all the opportunities they need to be successful. The City would be supporting an existing business to operate in a new fashion.

2. That the requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The use will not adversely affect the health, peace, comfort or welfare of persons residing or working in the surrounding area. The subject tenant space is currently in operation as a beauty salon. The same business is requesting to now operate as a vocational beauty trade school. Other than a few minor interior alterations, the existing tenant space will remain largely unchanged. The day-to-day activities would be compatible with the existing commercial uses in the area.

The use will not unreasonably interfere with the use, enjoyment, or valuation of other property located within the vicinity of the site, provided the conditions of approval are adhered to for the life of the project. By operating as a vocational beauty trade school, with limitations on class sizes, the use will be compatible with the surrounding uses.

3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The subject shopping center site, with the existing site improvements and modifications, is of adequate size to accommodate the proposed use within the surrounding area. No modifications are required to any of the existing site development features on site. This includes any buildings, yards, walls, fences, parking and loading facilities, and landscaping. The subject tenant space has been occupied by a RT7 Beauty salon since 2010. Having been previously a beauty salon, the tenant space will be of adequate size to accommodate the proposed beauty school use.

4. That the proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The subject site is located on the south side of Garden Grove Boulevard, between Kerry Street and Galway Street. The commercial center is adequately accessed by three (3) driveways along Garden Grove Boulevard, three (3) driveways along Galway Street, and two (2) driveways along Kerry Street. On-site circulation is adequate to serve all the uses in the commercial center. The site is also sufficiently served by the public service facilities required, such

as public utilities: gas, electric, water, and sewer facilities. As a part of this request, no changes are proposed for the design and function of the subject restaurant, or shopping center. Therefore, the site will continue to be adequately served by all existing highways, streets, and other public and private service facilities.

INCORPORATION OF FACTS AND REASONS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Zoning Administrator incorporates herein by this reference, the facts and reasons set forth in the staff report.

BE IT FURTHER RESOLVED that the Zoning Administrator does conclude:

1. The Conditional Use Permit does possess characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030 (Conditional Use Permits).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the following Conditions of Approval, attached as Exhibit "A", shall apply to Conditional Use Permit No. CUP-234-2023.

Dated: January 26, 2023

---

DAVID DENT  
ZONING ADMINISTRATOR

**EXHIBIT "A"**  
**Conditional Use Permit No. CUP-234-2023**

9836 Garden Grove Boulevard

**CONDITIONS OF APPROVAL**

**General Conditions**

1. Each owner of the property shall execute, and the applicant shall record against the property, a "Notice of Discretionary Permit Approval and Agreement with Conditions of Approval," as prepared by the City Attorney's Office, within 30 days of approval. This Conditional Use Permit runs with the land and is binding upon the property owner, his/her/its heirs, assigns, and successors in interest.
2. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Kyunghee Choi Park, the developer of the project, the owner(s) and tenants(s) of the property, and each of their respective successors and assigns. The applicant and subsequent owner/operators of such business shall adhere to the conditions of approval for the life of the project, regardless of property ownership. Any changes of the conditions of approval require approval by the applicable City hearing body, except as otherwise provided herein.
3. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
4. This Conditional Use Permit only authorizes the operation of an approximately 3,081 square foot vocational beauty trade school, as identified on the floor plan attached to these Conditions of Approval. Approval of this Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply. Modifications, which do not change the intent of the project, may be approved by the Community and Economic Development Director.
5. Minor modifications to the approved site plan, floor plan, and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the approved floor plan, site plan, or Conditions of Approval that would result in the intensification of the project or create impacts that have not been

previously addressed, and which are determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.

6. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

**Orange County Fire Authority**

7. The applicant shall comply with all applicable Orange County Fire Authority requirements, including, but not limited to the Fire Master Plan.

**Community and Economic Development Department**

8. The vocational beauty trade school shall operate from 9:30 a.m. to 9:30 p.m., Monday through Saturday. In the event that problems arise concerning the operation of this business, such as parking problems, and changing the hours of operation will reduce these problems, the school shall change the hours of operation as prescribed by the City.
9. The maximum number of students allowed on the premises at any one time shall be limited to thirty-six (36) students, and the maximum number of employees/instructors allowed shall be limited to three (3) employees. In the event the school proposes to increase the number of students and/or employees/instructors, the operator shall demonstrate to the satisfaction of the Community and Economic Development Director that the proposed increase will not impact the current parking and circulation demands of the retail center, and that all necessary building improvements shall be properly obtained. If additional floor area, including new classrooms and/or training areas is required in order to accommodate the proposed increase to the number of students and/or instructors, a new Conditional Use Permit shall be obtained.
10. In the event the site cannot accommodate the parking demand, due to impacts generated by any use on the property, at any given time, which causes a nuisance, hindrance, and/or problem with either on-site and off-site parking and circulation, as determined by the City's Community and Economic Development Director in his/her reasonable discretion, the applicant shall devise and implement a plan approved by the City to relieve the situation.

- a. Upon written request by the City, the applicant shall submit a plan to manage parking issues for review and approval by the Community and Economic Development Department. The plan may include, but is not be limited to: reducing the hours of operation, instituting an off-site parking arrangement; having on-site parking control personnel; and/or others actions that may be deemed applicable to the situation.
  - b. If the City's Community and Economic Development Director deems such action is necessary to address parking and circulation problems, such action shall be implemented within 30 days of written notice. Failure to take appropriate action shall be deemed a violation of these Conditions of Approval and may result in the City restricting the overall use of the establishment.
11. The school shall only provide cosmetology, manicurist, barber, and esthetician courses. The school, and all programs and course instruction, shall be State-approved by the California Department of Consumer Affairs, Board of Barbering and Cosmetology, and/or the Bureau of Private Postsecondary Education, and all instructors shall have the proper licensing and certifications.
12. The vocational beauty trade school shall be fully licensed by the State prior to operating, and prior to the issuance of a business license.
13. All student practice sessions shall be conducted under the supervision of the instructor at all times.
14. No outdoor storage or display shall be permitted outside of the building, including, but not limited to, storage and display of merchandise, cardboard, pallets, or boxes.
15. There shall be no uses or activities of an adult-oriented nature permitted on the premises as outlined in City Code Section 9.08.070.
16. Litter shall be removed daily from the premises, including adjacent public sidewalks and from all parking areas under the control of the licensee. These areas shall be swept or cleaned, either mechanically or manually, on a weekly basis, to control debris.
17. The property owner shall provide sufficient trash bins to accommodate the use. Trash pickup shall be at least one time a week. Should the need arise,



- trash pickup shall increase, in order to handle the amount of trash generated by all uses on site.
18. The applicant/property owner shall abate all graffiti vandalism within the premises. The applicant/property owner shall implement best management practices to prevent and abate graffiti vandalism within the premises throughout the life of the project, including, but not limited to, timely removal of all graffiti, the use of graffiti resistant coatings and surfaces, the installation of vegetation screening of frequent graffiti sites, and the installation of signage, lighting, and/or security cameras, as necessary. Graffiti shall be removed/eliminated by the applicant/property owner as soon as reasonably possible after it is discovered, but not later than 72 hours after discovery.
  19. The applicant is advised that the establishment is subject to the provisions of State Labor Code Section 6404.5 (ref: State Law AB 13), which prohibits smoking inside the establishment as of January 1, 1995.
  20. No roof-mounted mechanical equipment shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department, Planning Division. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.
  21. The applicant shall be responsible for providing adequate parking area lighting in compliance with City regulations. Lighting in the parking area shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate adjacent properties.
  22. No satellite dish antennas shall be installed on said premises unless, and until, plans have been submitted to and approved by the Community and Economic Development Department, Planning Division. No advertising material shall be placed thereon.
  23. There shall be no outdoor activities conducted on the premises without approval of a Special Event Permit or Community Event Permit.
  24. Permits from the City of Garden Grove shall be obtained prior to displaying any temporary advertising (i.e., banners).
  25. Signs shall comply with the City of Garden Grove sign requirements. No more than 15% of the total window area and clear doors shall bear

- advertising or signs of any sort. No signs advertising alcoholic beverages shall be placed on the windows. Any opaque material applied to the store front, such as window tint, shall count toward the maximum window coverage area.
26. Any modifications to existing signs or the installation of new signs shall require approval by the Community and Economic Development Department, Planning Services Division prior to issuance of a building permit.
  27. A copy of the decision and the conditions of approval for Conditional Use Permit No. CUP-234-2023 shall be kept on the premises at all times.
  28. The permittee shall submit a signed letter acknowledging receipt of the decision approving Conditional Use Permit No. CUP-234-2023 and his/her agreement with all conditions of the approval.
  29. The Conditional Use Permit may be called for review by City staff, the City Council, or Planning Commission, if noise or other complaints are filed and verified as valid by the Code Enforcement office or other City department concerning the violation of approved conditions, the Garden Grove Municipal Code, or any other applicable provisions of law.
  30. If deemed necessary by the Community and Economic Development Director, the Conditional Use Permit may be reviewed within one year from the date of this approval, and every three (3) years thereafter, in order to determine if the business is operating in compliance.
  31. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Conditional Use Permit No. CUP-234-2023. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including but not limited to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

32. Unless a time extension is granted pursuant to Section 9.32.030.D.9 of Title 9 of the Municipal Code, the use authorized by this approval of Conditional Use Permit No. CUP-234-2023 shall become null and void if the subject use or construction necessary and incidental thereto is not commenced within one (1) year of the expiration of the appeal period and thereafter diligently advanced until completion of the project.

### **Building and Safety Division**

33. The project shall comply with the latest California Building Standards Code at the time of permit application.
34. An exterior accessible path-of-travel from the public sidewalk to the building entrance shall be provided, and shall comply with the circulation path requirements of CBC Section 11B-205.
35. All rooms/spaces within the building shall be on an accessible route.
36. Occupancy separations shall be provided between units per CBC Table 508.4.
37. The project shall comply with the accessibility requirements of CBC Chapter 11B.

### **Water Division**

38. If applicable, new water service installations 0'-2" and smaller, shall be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 0'-3" and larger, shall be installed by developer/owner's contractor per City Standards.
39. Water meters shall be located within the City right-of-way or within dedicated waterline easement. Fire services and large water services 0'-3" and larger, shall be installed by contractor with Class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
40. If any new fire service connections or additions / modification to the existing fire sprinkler system are being proposed, fire service is required to have above-ground backflow device with a double-check valve assembly (DCDA) per City standard B-773. Existing single-check in the vault shall be removed; vault shall be removed. A right-of-way permit is required and contractor shall have a Class A / C-34 license. New DCDA shall be tested immediately after installation and once a year thereafter by a certified backflow device tester

and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Services Division. Contact Water Engineering for additional requirements for plan submittal at (714) 741-5346.